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CITY OF LAS VEGAS GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFFSITE IMPROVEMENTS, CLARK COUNTY AREA NEVADA", LATEST ISSUE; THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA NEVADA", LATEST REVISED EDITION; THE "SUMMERLIN IMPROVEMENT STANDARDS" FOR WORK IN THE SUMMERLIN AREA; AND OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY; THE UNIFORM BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".
- THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES AS SHOWN FROM CLV PLANS LIBRARY ARE APPROXIMATE AND FOR RECORD PURPOSES. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCE'S WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- TYPE V CEMENT SHALL BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE TO BE 3000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGNS TO BE APPROVED BY THE CITY, PRIOR TO THE USE ON THE PROJECT.
- PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
- EXPANSION JOINTS REQUIRED, MAXIMUM EVERY 300' IN EXTRUDED-TYPE CURB.
- AC PAVEMENT TO BE ONE-HALF INCH (1/2") ABOVE LIP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT SIDEWALK RAMPS AND CROSS GUTTERS.
- CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY OF LAS VEGAS SHALL BE REMOVED AND REPLACED PER STANDARD DRAWING 216.
- SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER STANDARD DRAWING 235. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF THE TRANSITIONS TO BE AS SHOWN ON PLANS.
- ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE (COMPANY, REPORT #, DATE) APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
- EXACT LOCATION OF ALL SAWCUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY OF LAS VEGAS ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATIONS.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORDANCE WITH N.R.S. STATUTE NO. 625.380 & CITY OF LAS VEGAS TITLE 18, APPENDIX D.
- UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.

WALL NOTES:

- ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS; FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. NEW WALLS REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY.
- CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC., TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
- MATERIALS, HANDLING AND PLACEMENT OF PORTLAND CEMENT CONCRETE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF NDOT OR THE CLARK COUNTY AREA SPECIFICATIONS (AS APPLICABLE) AND THE PLANS AND DETAILS SHOWN HEREON.
- WHEN INSTALLING UNDERGROUND FACILITIES THAT REQUIRE UNDERGROUND LOCATING DEVICES SUCH AS MARKER BALLS, LOCATING RIBBON, ETC., THE CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION TO OFFSITE INSPECTION AND TESTING CERTIFYING THAT ALL DEVICES HAVE BEEN PLACED AND VERIFIED TO BE IN GOOD WORKING CONDITION PRIOR TO THE CONSTRUCTION OF ANY ROAD BASE.
- AFTER HAUNCHING AND PRIOR TO BACKFILL OPERATIONS WHICH WOULD COVER SANITARY SEWER AND STORM DRAIN FACILITIES, CONTRACTOR IS REQUIRED TO SCHEDULE CLV OPEN-TRENCH UTILITY SURVEY INSPECTION FOR DETERMINATION OF FINAL LOCATION COORDINATES. FACILITIES TO BE LOCATED BY CLV SHALL INCLUDE AT A MINIMUM THE HORIZONTAL AND VERTICAL (INVERT) LOCATION OF PUBLIC SEWER MANHOLES, STORM DRAIN MANHOLES AND TRANSITION STRUCTURES; STORM DRAIN LATERALS AT THE CONNECTION TO THE STORM DRAIN MAIN AND AT THE CONNECTION TO A DROP INLET, THE CONNECTION OF SEWER SERVICE LATERALS TO THE SEWER MAIN AND WHERE THE SEWER SERVICE LATERALS EXIT THE PUBLIC RIGHT-OF-WAY, SEWER AND STORM DRAIN MAIN ALIGNMENT, INCLUDING DEFLECTION POINTS.
- CCTV VIDEO INSPECTION IS REQUIRED FOR ALL SEWER AND STORM DRAINS. THE CCTV VIDEO INSPECTIONS NEED TO BE PERFORMED PER THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS LATEST EDITION.
- A SEPARATE BORING PERMIT IS REQUIRED FOR ALL BORING ACTIVITIES.

CITY OF LAS VEGAS GRADING NOTES

- IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
- CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION, ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR PAVING OF THE EXCAVATION.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
- CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION, IN THE AREAS INDICATED:

	HORIZONTAL	VERTICAL	COMPACTION
A. PAVEMENT AREA SUBGRADE	0.1'+	+0.0'TO -0.1'	SEE SOILS REPORT
B. ENGINEERED FILL	0.5'+	+0.1'TO -0.1'	SEE SOILS REPORT

COMPACTION TESTING WILL BE PERFORMED BY THE OWNER OR HIS REPRESENTATIVE.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

CITY OF LAS VEGAS SEWER NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS AND THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS' CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA, AS AMENDED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF THE CONTENTS OF THE ABOVE SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM CONSTRUCTION AS PER PLANS, ANY ADDITIONS, DELETIONS, OR CHANGES SHALL FIRST MEET WITH THE APPROVAL OF THE CITY ENGINEER.
- CHISEL "S" OR "G" IN CURBS WHERE SEWER OR GAS LATERALS PASS UNDER THE CURB.
- POLYVINYL (PVC) SEWER PIPE SHALL MEET ASTM D-3034 SDR 35 SPECIFICATIONS, INSTALLED WITH SAND BEDDING AND BACKFILL OF TYPE II AGGREGATE BASE.
- ALL MANHOLES PAVED IN STREETS EIGHTY (80') FOOT R/W AND LARGER SHALL HAVE CONCRETE COLLARS. STREETS LESS THAN EIGHTY (80') FOOT R/W WILL REQUIRE RETROFIT IF PAVING DOES NOT CONFORM TO CITY STANDARDS AT THE MANHOLE.
- TEE SADDLES SHALL BE USED TO CONNECT SEWER LATERALS TO EXISTING MAIN LINES UP TO TWELVE INCH (12") DIAMETER. CONNECTIONS TO FIFTEEN INCH (15") OR LARGER MAINS SHALL REQUIRE SPECIAL PROCEDURES. IN LINE "Y" S SHALL BE USED ON LINES TWELVE INCHES (12") OR ABOVE.
- WATER MAINS SHALL BE PROTECTED IN ACCORDANCE WITH LVVWD STANDARDS WHENEVER A SEWER MAIN CROSSES OVER A WATER MAIN OR THE SEWER IS LESS THAN EIGHTEEN INCH (18") UNDER A WATER MAIN.
- ALL CONTRACTORS INSTALLING SEWER MAINS THAT WILL BE UNDER THE JURISDICTION OF THE CITY OF LAS VEGAS MUST BE STATE OF NEVADA CLASS "A" CONTRACTORS.
- THE CITY OF LAS VEGAS WILL NOT ACCEPT ANY SEWER MAINS WHICH HAVE A VERTICAL DEFLECTION OF MORE THAN ONE TENTH (0.1) OF A FOOT FROM THE APPROVED CONSTRUCTION PLANS AT ANY LOCATION. SEWER MAINS FOUND TO EXCEED THIS TOLERANCE WILL HAVE TO BE REPAIRED OR REMOVED OR REPLACED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO ACCEPTANCE BY THE CITY OF LAS VEGAS.
- INSTALLATION OF CURVED SEWER REQUIRES THE USE OF C-900 PIPE WHICH ALLOWS FOR PIPE DEFLECTION AT THE JOINTS.

APPROVAL


SOUTHWEST GAS CORPORATION

6-13-19
DATE

CITY OF LAS VEGAS FIRE DEPARTMENT NOTES

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LAS VEGAS FIRE AND RESCUE ADOPTED FIRE CODE ORDINANCE #6631 FOR HYDRANT SPECIFICATIONS AND HYDRANT INSTALLATION SPECIFICATION.
- ONLY FIRE HYDRANTS THAT ARE ON THE LAS VEGAS VALLEY WATER DISTRICT'S-APPROVED PRODUCTS LIST ARE ALLOWED TO BE INSTALLED.
- A PERMIT IS REQUIRED FROM LAS VEGAS FIRE AND RESCUE FOR THE INSTALLATION OF ON-SITE WATER LINES AND FIRE HYDRANTS. THE PERMIT AND CONTRACTORS MATERIAL TEST CERTIFICATE FOR UNDERGROUND PIPING FORM SHALL BE OBTAINED FROM THE FIRE PROTECTION ENGINEER BEFORE COMMENCEMENT OF WORK.
- ON ANY RESIDENTIAL OR COMMERCIAL INSTALLATIONS, FIRE HYDRANTS SHALL BE INSTALLED AND FIRE APPARATUS ACCESS ROADS SHALL BE MAINTAINED BEFORE COMMENCEMENT OF ANY COMBUSTIBLE CONSTRUCTION. ALL FIRE HYDRANTS SHALL BE IN GOOD WORKING ORDER AND SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW.
- TO IDENTIFY THE FIRE HYDRANT LOCATIONS, CONTRACTOR SHALL PLACE A BLUE REFLECTIVE MARKER AT THE CENTER LINE OF THE STREET ADJACENT TO THE FIRE HYDRANTS.
- ALL UNDERGROUND INSPECTIONS, PRESSURE AND FLUSH VERIFICATIONS OF ALL FIRE HYDRANTS AND FIRE LINES, SHALL BE CONDUCTED BEFORE COVERING THE LINES. CENTER LOADING IS ACCEPTABLE FOR THE HYDRO TESTS PRIOR FIRE PREVENTION APPROVAL.
- ALL ON-SITE UNDERGROUND WATER MAINS AND MATERIALS SHALL BE U.L. LISTED, AWWA APPROVED AND SHALL BE RATED FOR THE APPROPRIATE WORKING PRESSURE.
- PAINTING OF CURBS, FIRE HYDRANTS, PADS, PROTECTION OF FIRE HYDRANTS FROM PHYSICAL DAMAGE, AND ALL OTHER WORK NECESSARY PER PLANS SHALL BE COMPLETED BEFORE APPROVAL BY LAS VEGAS FIRE AND RESCUE, FIRE PREVENTION DIVISION.
- PRIVATE HYDRANTS SHALL BE PAINTED RED.
- PRIOR TO THE FINAL OCCUPANCY, A FLOW TEST SHALL BE WITNESSED BY LAS VEGAS FIRE AND RESCUE, FIRE PREVENTION DIVISION TO VERIFY AVAILABILITY OF THE REQUIRED FIRE FLOW.
- FIRE HYDRANT SPACING SHALL BE AS FOLLOWS:

RESIDENTIAL - 500 FT UNSPRINKLERED: 600 FT SPRINKLERED
COMMERCIAL - 300 FT UNSPRINKLERED: 400 FT SPRINKLERED
- WHERE NEW WATER MAINS ARE EXTENDED ALONG STREETS OR NEW STREETS ARE INSTALLED WHERE FIRE HYDRANTS ARE NOT NEEDED FOR PROTECTION OF THE STRUCTURES, FIRE HYDRANTS SHALL BE INSTALLED AT A MAXIMUM OF 1,000 FOOT SPACING, TO PROVIDE FOR TRANSPORTATION HAZARDS. WHERE STREETS ARE PROVIDED WITH MEDIAN DIVIDERS OR HAVE FOUR (4) OR MORE TRAFFIC LANES AND HAVE A TRAFFIC COUNT OF MORE THAN 30,000 PER DAY, HYDRANTS ARE REQUIRED ON EACH SIDE OF THE STREET SPACED AT 500 FT ON AN ALTERNATING BASIS.
- NO FIRE HYDRANTS SHALL BE LOCATED WITHIN THE RADIUS OF A CUL-DE-SAC OR WITHIN 20 FT OF THE PERIMETER OF THE RADIUS OF THE CUL-DE-SAC.
- NO FIRE HYDRANTS SHALL BE LOCATED WITHIN 6 FT OF ANY CURB RETURN, DRIVEWAY, POWER POLE, STREETLIGHT, OR ANY OTHER OBSTRUCTION.
- A MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A ONE-TWO FAMILY DWELLING SHALL NOT EXCEED 300 FT, AS MEASURED BY AN APPROVED ROUTE.
- THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A FIRE DEPARTMENT CONNECTION (FDC) SHALL NOT EXCEED 100 FT, AS MEASURED BY AN APPROVED ROUTE.
- THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO THE END OF A DEAD-END STREET SHALL NOT EXCEED 200 FT.
- TWO (2) SOURCES OF SUPPLY ARE REQUIRED WHENEVER THERE IS 4 OR MORE FIRE HYDRANTS/SPRINKLER LEAD-INS ARE INSTALLED ON A SINGLE SYSTEM. FOR SYSTEMS REQUIRED TO HAVE TWO (2) SOURCES OF WATER SUPPLY, SECTIONAL CONTROL VALVES SHALL BE INSTALLED SO THAT NO MORE THAN 2 FIRE HYDRANTS AND/OR FIRE SPRINKLER LEAD-INS CAN BE OUT OF SERVICE DUE TO A SERVICE INTERRUPTION. FOR SYSTEMS PERMITTED TO HAVE ONE SOURCE OF WATER SUPPLY, SECTIONAL CONTROL VALVES SHALL BE INSTALLED SO THAT NO MORE THAN 3 FIRE HYDRANTS AND/OR SPRINKLER LEAD-INS CAN BE OUT OF SERVICE DUE TO A SERVICE INTERRUPTION.
- ALL FIRE APPARATUS ACCESS ROADS SHALL BE PAVED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES, AND SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF THE FIRE APPARATUS.
- THE GRADIENT FOR THE FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 12%. ANGLES OF APPROACH AND ANGLES OF DEPARTURE SHALL NOT EXCEED 6% FOR 25 FT PRIOR TO OR AFTER THE GRADE CHANGE. ADJACENT TO THE STRUCTURES GRADIENT SHALL NOT EXCEED 6%.
- THE TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROADS SHALL BE NO LESS THAN 52 FEET OUTSIDE AND 28 FEET INSIDE TURNING RADIUS.
- VERTICAL CLEARANCE OF ALL FIRE APPARATUS ACCESS ROADS SHALL NOT BE LESS THAN 13 FEET 6 INCHES.
- FIRE DEPARTMENT ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF NOT LESS THAN 33 FEET WITH PARKING ON BOTH SIDES MEASURED TO FACE OF CURB. NOT LESS THAN 28 FT WIDE WITH PARKING RESTRICTED TO ONE SIDE MEASURED TO FACE OF CURB. NOT LESS THAN 24 FT WIDE WITH NO PARKING ON EITHER SIDE MEASURED TO FACE OF CURB. FIRE LANES THROUGH PARKING LOTS SHALL BE NOT LESS THAN 24 FT.
- A FIRE APPARATUS ACCESS ROAD SHALL BE REQUIRED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN 150 FT FROM A FIRE DEPARTMENT VEHICLE ACCESS.
- APPROVED SECONDARY FIRE APPARATUS ACCESS SHALL BE PROVIDED FOR 200 OR MORE DWELLING UNITS, ROAD(S) WITH DEAD-ENDS, OR WITH A SINGLE POINT OF ACCESS IN EXCESS OF 600 FT.
- ALL DEAD-END FIRE APPARATUS ROADS AND/OR FIRE LANES, PUBLIC OR PRIVATE, IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURN AROUND HAVING A MINIMUM DIAMETER OF 81 FEET.
- ALL FIRE APPARATUS ACCESS ROADS SHALL BE MARKED BY PLACING APPROVED SIGNS AT THE START OF THE DESIGNATED FIRE LANE, ONE SIGN AT THE END OF THE FIRE LANE AND WITH SIGNS AT INTERVALS OF 100 FEET ALONG THE DESIGNATED FIRE LANES. SIGNS TO BE PLACED ON BOTH SIDES OF AN ACCESS ROADWAY IF NEEDED TO PREVENT PARKING ON EITHER SIDE. SIGNS TO BE INSTALLED NO HIGHER THAN 10 FT OR LESS THAN 6 FT FROM THE ROADWAY LEVEL. THE CURB ALONG OR ON THE PAVEMENT OR CEMENT (IF NO CURB IS PROVIDED) SHALL BE PAINTED WITH A RED WEATHER RESISTANT PAINT IN ADDITION TO THE SIGNS.
- ELECTRONICALLY CONTROLLED ACCESS GATES SHALL BE PROVIDED WITH AN APPROVED EMERGENCY VEHICLE DETECTOR/RECEIVER SYSTEM.
- WHERE STREETS ARE PROVIDED WITH MEDIAN DIVIDERS, OR HAVING FOUR OR MORE TRAVEL LANES AND A TRAFFIC COUNT OF MORE THAN 30,000 VEHICLES PER DAY, ALL HYDRANTS BEING UTILIZED TO DELIVER FIRE FLOW TO THE PROPOSED LOCATION SHALL BE LOCATED ON THE SAME SIDE OF THE STREET AS THE PROPOSED DEVELOPMENT.

LAS VEGAS VALLEY WATER DISTRICT (LVVWD) STANDARD NOTES

LVVWD PROJECT # 136494
(REVISED 08/01/2017)

- NO WORK SHALL BEGIN UNTIL THE WATER PLANS HAVE BEEN APPROVED FOR CONSTRUCTION BY THE LVVWD. FOLLOWING WATER PLAN APPROVAL, NOTICE SHALL BE GIVEN TO THE LVVWD COMMUNICATION SUPPORT CENTER (258-7171) TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. FOR FUTURE INSPECTIONS, NOTICE MUST BE GIVEN BY 2:00 P.M. THE BUSINESS DAY PRIOR TO THE REQUESTED LVVWD INSPECTION. WHEN REQUESTING INSPECTIONS, PLEASE REFER TO THE PROJECT # IDENTIFIED ABOVE.
- ALL WORK SHALL CONFORM TO LVVWD STANDARD PLATES, DRAWINGS, AND SPECIFICATIONS, AND TO THE 2010 EDITION OF THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS (UDACS). THE LATEST EDITION OF UDACS SHALL SUPERSEDE ANY CONFLICTS CONTAINED IN THE APPROVED DRAWINGS AND/OR SPECIFICATIONS.
- ALL WORK, EXCEPT AS MODIFIED BY THESE PLANS OR BY NOTE 2 ABOVE, SHALL BE DONE IN ACCORDANCE WITH THE MOST RECENT DRAFT OR EDITION OF THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFFSITE IMPROVEMENT, CLARK COUNTY AREA.
- A SINGLE PIPE MATERIAL SHALL BE USED THROUGHOUT THE PROJECT UNLESS OTHERWISE APPROVED BY THE LVVWD.
- ALL SERVICE LATERALS TWO (2) INCHES IN DIAMETER AND SMALLER SHALL BE TYPE K COPPER TUBING WITH LVVWD APPROVED SERVICE SADDLES.
- ALL WATER METER BOXES SHALL BE LOCATED OUTSIDE OF DRIVEWAY AREAS.
- ALL VALVES SHALL BE LOCATED OUTSIDE OF DRIVEWAYS, VALLEY AND CURB GUTTERS.
- ALL WATER AND STORM DRAIN OR SANITARY SEWER CROSSINGS SHALL CONFORM TO SECTION 2.22 OF THE 2010 EDITION OF THE UDACS.
- ALL WATER FACILITIES AND APPURTENANCES SHALL BE DISINFECTED, PRESSURE TESTED, AND HAVE AN ACCEPTABLE PASSING HEALTH WATER SAMPLE OBTAINED, PRIOR TO OPERATION AND USE.
- THE CONTRACTOR MUST OBTAIN ALL METERS TWO (2) INCHES AND SMALLER FROM LVVWD CENTRAL STORES. TELEPHONE 258-3152 OR 258-3802, TWO (2) WORKING DAYS PRIOR TO METER PICKUP.
- ANY INTERRUPTION OF SERVICE MUST BE PERFORMED IN ACCORDANCE WITH UDACS SECTION 3.14.01, AND APPROVED BY THE LVVWD INSPECTION DIVISION PRIOR TO SHUTDOWNS. PROPER WRITTEN NOTIFICATION MUST BE GIVEN TO ALL AFFECTED CUSTOMERS.
- ALL WATER FACILITY CONSTRUCTION MATERIALS USED MUST BE AS LISTED ON THE LVVWD APPROVED PRODUCT'S LIST FOR NEW FACILITIES, LATEST REVISION, OR SPECIFICALLY APPROVED ON THESE PLANS BY SUBMITTING SHOP DRAWINGS.
- TELEPHONE "CALL BEFORE YOU DIG" AT "811" OR 1-800-227-2600.
- THE INSTALLATION OF LVVWD MUNICIPAL WATER FACILITIES WITHIN ALL STREETS IS ASSUMED TO BE IN COMPLIANCE WITH THE UNIFORM STANDARDS, INCLUDING THE PLACEMENT OF ASPHALT PAVING STREET SURFACES. ANY REPAIR WORK DONE BY THE LVVWD TO THE MUNICIPAL WATER FACILITIES WILL INCLUDE THE PLACEMENT OF AN APPROPRIATELY SIZED ASPHALT REPAIR PATCH ON THE STREET SURFACE.

ANY DECORATIVE PAVING SURFACE WITHIN THE STREET IS THE RESPONSIBILITY OF THE OWNER'S ASSOCIATION, OR THE INDIVIDUAL PROPERTY OWNERS IF NO OWNER'S ASSOCIATION IS IN EXISTENCE, OR THE AGENCY HAVING JURISDICTION. DECORATIVE SURFACE MATERIALS PLACED WITHIN THE TEN FOOT EASEMENT ABUTTING PUBLIC OR PRIVATE STREET, IF DISTURBED BY THE LVVWD DURING THE REPAIR OR OPERATION OF ITS FACILITIES, WILL BE REPLACED BY LVVWD WITH AN APPROPRIATELY SIZED PLAIN FINISH CONCRETE PATCH. THE LVVWD WILL NOT RESTORE, AND WILL NOT BE RESPONSIBLE FOR THE RESTORATION OF, ANY DECORATIVE PAVING SURFACE WITHIN THE STREET. THE LVVWD WILL NOT ATTEMPT TO MATCH COLOR OR FINISH OF ANY ADJACENT MATERIALS.

15. NO LEAD COMPLIANCE NOTE:

TO COMPLY WITH FEDERAL SAFE DRINKING WATER ACT, ALL WATER WORKS BRASS PRODUCTS PROPOSED TO BE RELOCATED, OR INSTALLED AS NEW MUST BE INSTALLED WITH THE LEAD FREE APPROVED PRODUCT. THE OLD LEADED PRODUCT MAY NOT BE REUSED.

SOUTHERN NEVADA - SOUTHWEST GAS CORPORATION NOTES

- IN THE EVENT OF NATURAL GAS EMERGENCIES CALL 911 AND 1-877-860-6020.
- MINIMUM HORIZONTAL AND VERTICAL CLEARANCES BETWEEN NATURAL GAS FACILITIES AND ANY UNDERGROUND UTILITIES AND/OR STRUCTURES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, STORM DRAIN, COMMUNICATIONS, AND ELECTRIC SHALL BE AT LEAST 12-INCHES OR GREATER AS DICTATED BY LOCAL CODES AND STANDARDS.

A). ANY DEVIATION FROM SPECIFIED MINIMUM CLEARANCES MUST BE APPROVED BY ALL AFFECTED UTILITIES AND/OR MUNICIPALITIES.

- FOR VALVE ADJUSTMENT CONTACT 702-668-6107 48 HOURS PRIOR TO CONSTRUCTION.
- IN THE EVENT OF A NATURAL GAS CONFLICT WITH PROPOSED UTILITIES AND/OR STRUCTURES CONTACT 702-365-2099

CAUTION: HIGH PRESSURE GAS!!

CALL SOUTHWEST GAS AT 702-400-1789 FOR STANDBY WHEN EXCAVATING OVER OR NEAR HIGH PRESSURE GAS LINES 48 HOURS PRIOR TO CONSTRUCTION.

DEVIATIONS FROM STANDARDS:

- NONE

APPROVED FOR CONSTRUCTION	
	
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES	
PROJECT NO.: 136494	FIRST APPROVAL DATE: 6-20-19
LVVWD APPROVED FIRE FLOW: TOTAL 1500 GPM / ONSITE 1500 GPM	
LVVWD APPROVAL IS VALID FOR ONE (1) YEAR FROM SIGNATURE DATE. IF CONSTRUCTION IS NOT STARTED, PLANS <u>MUST</u> BE RESUBMITTED FOR REVIEW AND APPROVAL.	



3400 N. Dysart Road
Suite 130
Avondale, Arizona 85392
Phone: 623-547-2500
Fax: 623-547-2501

Call before you Overhead
1-702-227-2929

Call before you Dig
1-800-227-2600

APP. DATE	BY	DATE	DESCRIPTION	NO.

HWY 95 AND SKYE CANYON

CHASE

NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

T: 603.988.0709
WWW.APJM.COM

8300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85268

06/03/19



DRAWN TWJ
DATE 4.JANUARY.2019
PROJECT 18105.00

NOTES & DETAILS

C2

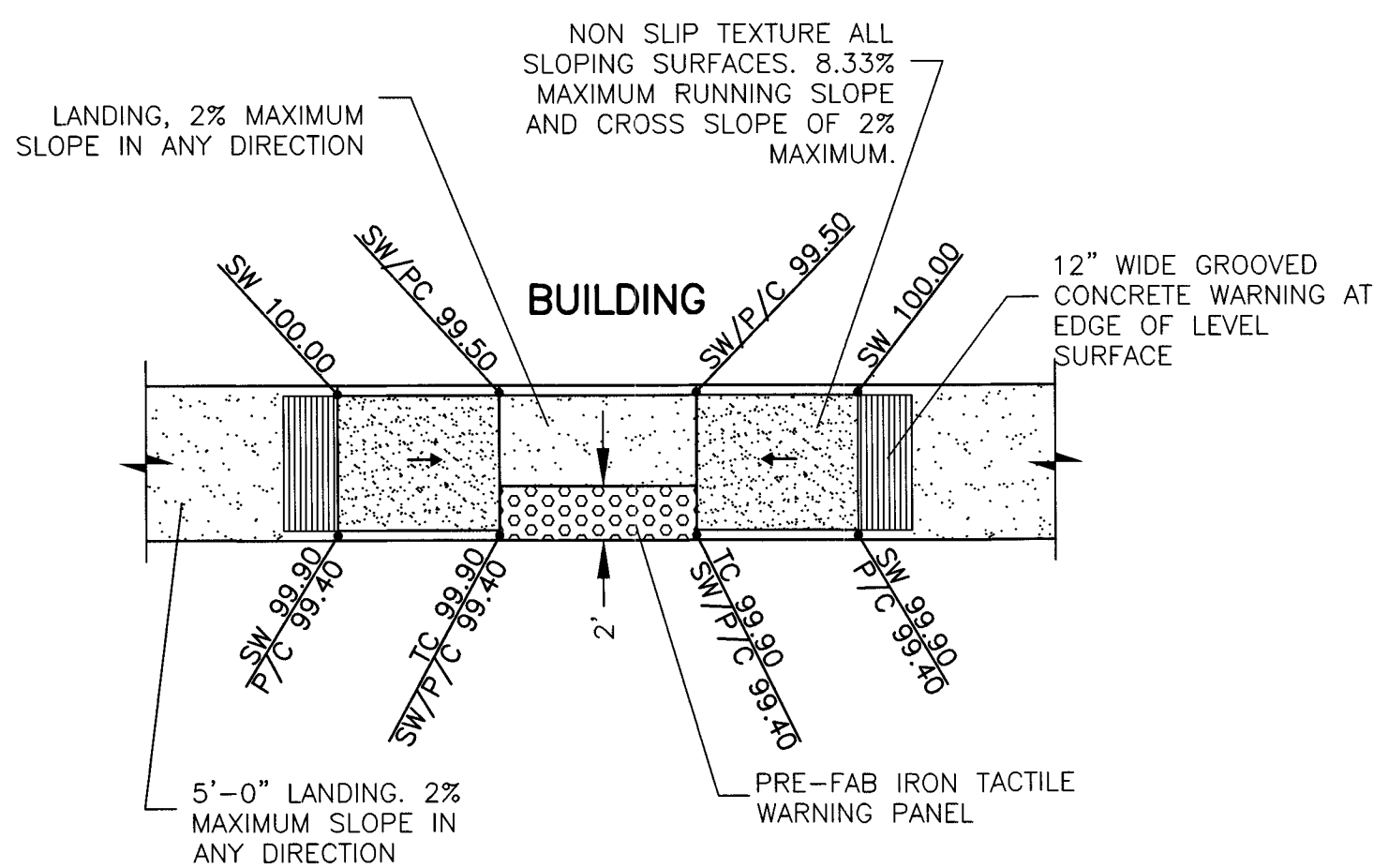
10747875

PROJ.#: 136494 QS: 125-07-AW

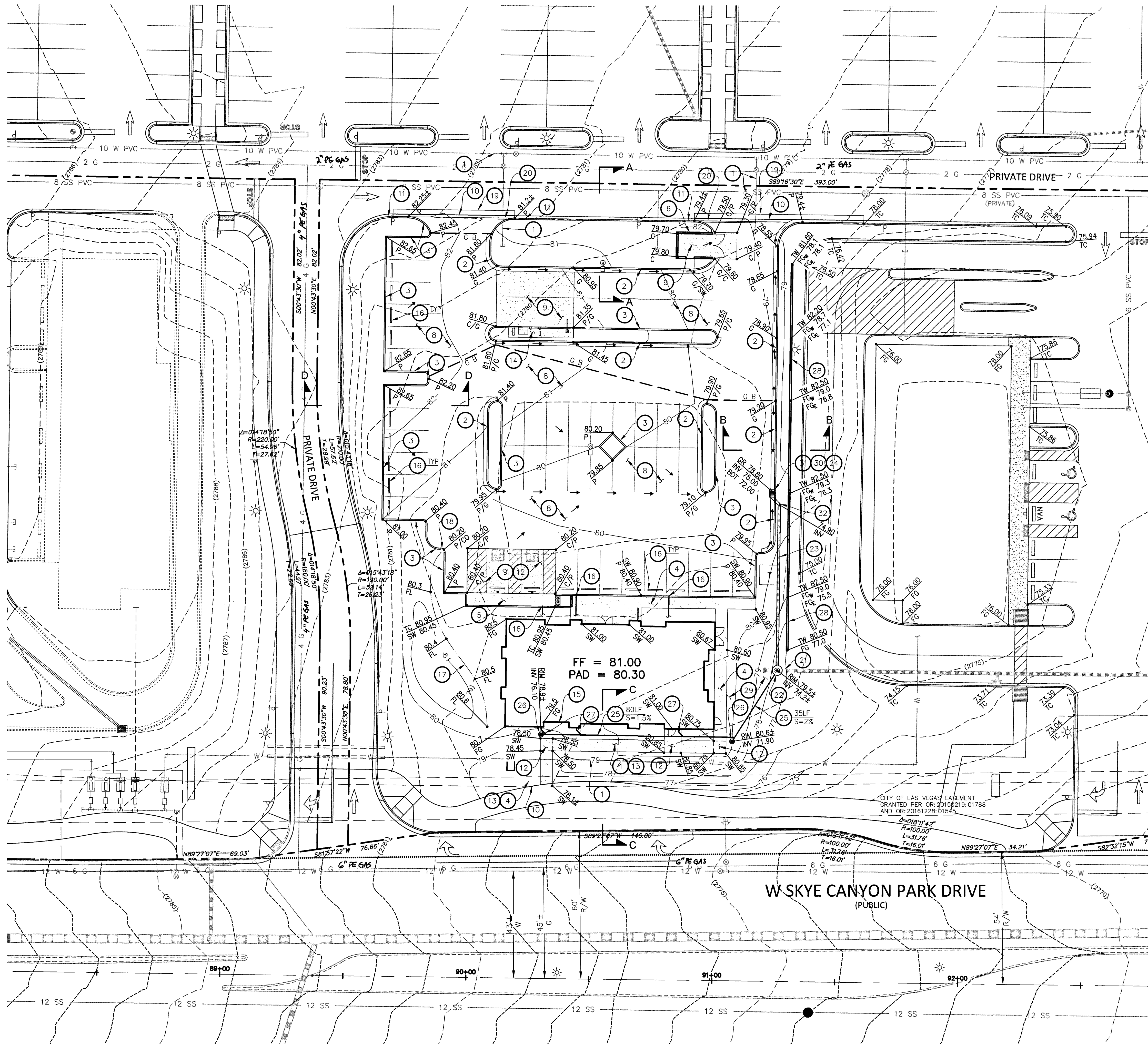
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ENGINEER'S NOTES TO THE GRADING CONTRACTOR

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL STRUCTURES, UNDERGROUND PIPELINES, ELECTRICAL AND TELEPHONE CONDUITS, EITHER SHOWN OR NOT SHOWN ON THE PLANS PRIOR TO CONSTRUCTION, AND TO OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO THESE FACILITIES. THE ENGINEER AND/OR DEVELOPER WILL NOT GUARANTEE ANY ELEVATIONS OR LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THESE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE BIDDER TO VERIFY ALL QUANTITIES, INCLUDING EXCAVATION, BORROW, EMBANKMENT, SHRINK OR SWELL, GROUND COMPACTION, HAUL, AND ANY OTHER ITEMS AFFECTING THE BID TO COMPLETE THE GRADING TO THE ELEVATIONS SHOWN ON THESE PLANS AND TO BASE THE BID SOLELY UPON HIS OWN VERIFIED QUANTITIES. IT SHALL BE THE BIDDERS RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION OF ANY MAJOR DISCREPANCIES BETWEEN HIS ESTIMATE QUANTITIES AND THOSE SHOWN ON THESE PLANS.
- IF STRIPPING OR SOME TOPSOIL IS DEEMED UNSUITABLE BY THE SOILS ENGINEER FOR USE AS COMPACTED FILL, THE UNSUITABLE MATERIAL SHALL BE STOCKPILED PRIOR TO ROUGH GRADING AND USED TO FINISH SUITABLE AREAS AT COMPLETION OF ROUGH GRADING.
- ANY EARTHWORK QUANTITIES SHOWN ON THESE PLANS WERE BASED ON THE ASSUMPTION THAT THE ENTIRE SITE WILL BE GRADED IN ONE OPERATION.
- ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AS OUTLINED IN THEIR REPORT PREPARED FOR THIS PROJECT.
- DUST SHALL BE CONTROLLED PER THE STANDARDS OF CLARK COUNTY HEALTH DISTRICT AIR QUALITY MANAGEMENT DIVISION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
- ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THESE PLANS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- ZELL COMPANY, L.L.C. IS NOT RESPONSIBLE FOR CONSTRUCTION STAKING. THE OWNER AND/OR THE CONTRACTOR SHALL ARRANGE FOR CONSTRUCTION STAKING.
- ALL TEMPORARY WATER AND POWER FACILITIES SHALL BE REMOVED PRIOR TO FINAL ACCEPTANCE BY THE DEVELOPER.
- ANY QUESTION RAISED RELATIVE TO THE ACCURACY OF IMPROVEMENT INSTALLATION SHALL BE RAISED PRIOR TO THE COMMENCEMENT OF THE WORK IN QUESTION.
- THE CONTRACTOR SHALL PROVIDE A 1 FOOT MINIMUM BENCH BETWEEN THE TOP OF ALL LANDSCAPE SLOPES AND THE BACK OF CURBS AND SIDEWALKS.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT TO CONSTRUCT/INSTALL THE IMPROVEMENTS SHOWN ON THESE PLANS UNLESS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "AS-BUILT" DRAWINGS TO THE MUNICIPALITY HAVING JURISDICTION IF REQUIRED.
- DIMENSIONS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. SEE THE ARCHITECT'S DIMENSIONED SITE PLAN OR HORIZONTAL CONTROL PLAN FOR SITE LAYOUT. DO NOT SCALE THESE PLANS.
- THE CONTRACTOR SHALL PAINT PARKING STRIPES BASED ON THE ARCHITECT'S SITE PLAN. THE STRIPING SHOWN ON THE CIVIL PLANS IS FOR REFERENCE ONLY.
- THE INVERT ELEVATIONS SHOWN ON THESE PLANS HAVE BEEN DESIGNED TO PROVIDE AT LEAST ONE (1) FOOT OF COVER OVER THE TOP OF THE PIPE (EXCLUDING THE PAVEMENT THICKNESS). THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE NEWLY INSTALLED PIPES FROM DAMAGE CAUSED BY CONSTRUCTION ACTIVITY ON THE SITE PRIOR TO THE FINAL PAVEMENT SECTION BEING INSTALLED.
- ALL WORK SHOWN ON THE GRADING PLAN SHALL BE CONSTRUCTED PER CLARK COUNTY SPECIFICATIONS UNLESS OTHERWISE SPECIFICALLY NOTED.



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GRADING & DRAINAGE CONSTRUCTION NOTES

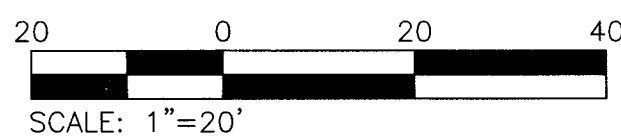
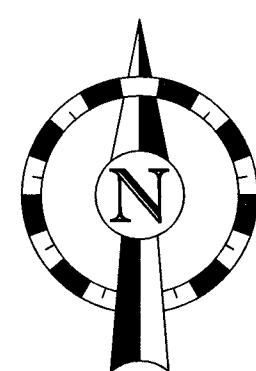
- CAUTION: EXISTING UTILITIES IN AREA. CALL 811 TO MARK LOCATIONS PRIOR TO CONSTRUCTION.
- CONSTRUCT VERTICAL CURB AND GUTTER PER STD. DWG. 21, TYPE "L".
- CONSTRUCT SINGLE CURB PER STD. DWG. 219.
- CONSTRUCT SIDEWALK. SEE ARCHITECT'S PLANS FOR DETAILS AND SPECIFICATIONS.
- CONSTRUCT SIDEWALK RAMP PER DETAIL ON SHEET C3 AND CHASE SPECIFICATIONS.
- TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- INSTALL PRE-CAST SAFETY CURB PER STD. DWG. 238.
- CONSTRUCT 3" AC/4" ABC PAVEMENT PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- CONSTRUCT 6" PCC/4" ABC PAVEMENT PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
- MATCH EXISTING IMPROVEMENT.
- EXISTING CURB. PROTECT IN PLACE.
- SLOPE NOT TO EXCEED 1:50 IN ANY DIRECTION.
- SIDEWALK CROSS SLOPE NOT TO EXCEED 1:50; SIDEWALK LONGITUDINAL SLOPE NOT TO EXCEED 1:20.
- CONSTRUCT ATM ISLAND PER ARCHITECT'S DETAILS. TOP OF ISLAND TO BE POURED LEVEL. ADJUST CURB HEIGHT AS NECESSARY.
- EXTEND WALL FOOTING TO ACCOUNT FOR GRADE DIFFERENTIAL.
- 4" ROOF DRAIN. SEE PLUMBING PLANS FOR DETAILS. DAYLIGHT AT FACE OF CURB.
- GRADE NUISANCE WATER SWALE TO ELEVATIONS SHOWN.
- CONSTRUCT 2' CURB OPENING PER DETAIL ON SHEET C3.
- SAWCUT TO CLEAN EDGE, REMOVE, AND REPLACE 2'-FOOT MINIMUM EXISTING PAVEMENT IN LIKE KIND TO CONSTRUCT NEW IMPROVEMENTS.
- REMOVE EXISTING CURB AS NECESSARY TO CONSTRUCT NEW ACCESS DRIVE.
- CONTRACTOR TO VERIFY SIZE, DEPTH, AND LOCATION OF EXISTING STORM DRAIN STUB PRIOR TO CONSTRUCTION. TRIM PIPE AS NECESSARY.
- CONSTRUCT 4' DIAMETER STORM DRAIN MANHOLE PER STD DWG 403.1.
- INSTALL 12" HDPE STORM DRAIN PIPE WITH WATERTIGHT JOINTS TO INVERT ELEVATIONS SHOWN AND PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL JENSEN PRECAST 24" X 36" DROP INLET (OR APPROVED EQUAL) WITH TRAFFIC FRAME AND GRATE. SEE SHEET C3 FOR DETAILS.
- INSTALL 6" HDPE STORM DRAIN PIPE WITH WATERTIGHT JOINTS TO INVERT ELEVATIONS SHOWN AND PER MANUFACTURER'S SPECIFICATIONS.
- INSTALL STORM DRAIN CLEANOUT WITH WATERTIGHT FRAME AND COVER.
- CONNECT 3" ROOF DRAIN LEADERS INTO SITE STORM DRAIN WHERE SHOWN. VERIFY SIZE AND LOCATION OF ROOF DRAIN LEADERS WITH PLUMBING PLANS PRIOR TO CONSTRUCTION.
- CONSTRUCT SITE RETAINING WALL. SEE STRUCTURAL PLANS FOR DETAILS. MAXIMUM RETAINING HEIGHT=3.5 FEET.
- GRADE CATCH BASIN AS SHOWN. SLOPE NOT TO EXCEED 3:1.
- INSTALL SNOUT OIL AND FLOATING DEBRIS TRAP PER DETAIL ON SHEET C1.
- PLACE STORM WATER QUALITY MANAGEMENT STAMP IN CURB NEXT TO INLET PER USDOCA DWG. NO. 421.
- INSTALL 12" 45° BEND. PROVIDE JOINT RESTRAINT.

NOTE: SEE ARCHITECTURAL SITE PLAN FOR STRIPING DETAILS.

NOTE: ALL ONSITE STORM DRAINS ARE PRIVATELY OWNED AND MAINTAINED.

BENCHMARK

MONUMENT ID: USDA (1934) 19
U.S. DEPARTMENT OF AGRICULTURE BRASS DISC AT SOUTHWEST CORNER OF U.S. 95 AND KYLE CANYON ROAD
ELEV=2817.61 FEET NAVD 88 DATUM
PER THE CITY OF LAS VEGAS BENCHMARK BOOK - 2008 ADJUSTMENT (UPDATED 05/24/2010)



3400 N. Dysart Road
Suite 130
Avondale, Arizona 85392
Phone: 623-547-2500
Fax: 623-547-2501

Call
before you
Overhead
1-800-227-2939

Call
before you
Dig
1-800-227-2600

GRADING &
DRAINAGE PLAN

C4
107V7825

CHASE
NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

APM
ARCHITECTURE PLANNING INTERIORS

PROFESSIONAL ENGINEER
KATHLEEN W. ZELL
Exp: 6/30/2020
CIVIL
No. 21124

DRAWN TWJ
DATE 4 JANUARY 2019
PROJECT 18105.00

GRADING &
DRAINAGE PLAN

C4
107V7825

HWY 95 AND SKYE CANYON

ARCHITECTURE PLANNING INTERIORS

PROFESSIONAL ENGINEER

DRAWN

GRADING &

C4

NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE

ARCHITECTURE PLANNING INTERIORS

PROFESSIONAL ENGINEER

DRAWN

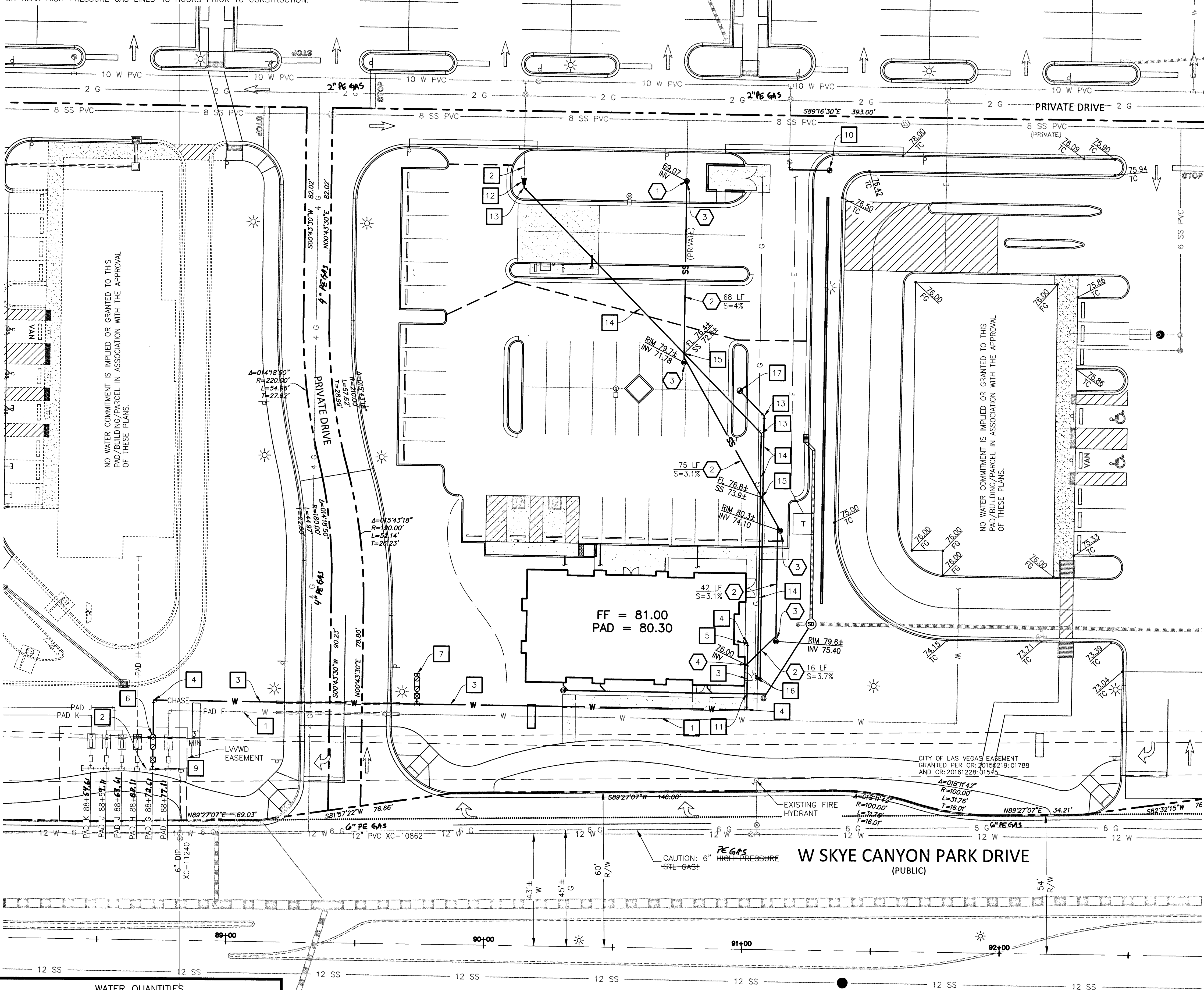
GRADING &

C4

APPROVAL
K. H. Hgm
SOUTHWEST GAS CORPORATION

6-13-19
DATE

CAUTION: HIGH PRESSURE GAS!!
CALL SOUTHWEST GAS AT 702-400-1789 FOR STANDBY WHEN EXCAVATING OVER OR NEAR HIGH PRESSURE GAS LINES 48 HOURS PRIOR TO CONSTRUCTION.



WATER QUANTITIES		
	PUBLIC	PRIVATE
1"x6" SERVICE SADDLE & 1" METER	1 EA	-
1" RPPA	1 EA	-
1-1/2" PVC SCH 80 WATER LINE	3 LF	268 LF

WATER/FIRE CONSTRUCTION NOTES

- CAUTION: EXISTING UTILITIES IN AREA. CALL 811 TO MARK LOCATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY SIZE AND LOCATION OF EXISTING WATER SERVICE PRIOR TO CONSTRUCTION.
- INSTALL 1-1/2" PVC SCH 80 WATER LINE PER THE 2012 UPC. MAINTAIN 36" COVER OVER PIPE.
- INSTALL 1-1/2" BEND PER THE 2012 UPC.
- SEE PLUMBING PLANS FOR CONTINUATION. VERIFY SIZE AND LOCATION OF BUILDING'S WATER CONNECTIONS PRIOR TO CONSTRUCTION.
- INSTALL 1" RPPA PER UDACS PLATE #8. SEE DETAIL ON SHEET C3.
- INSTALL 1-1/2"x1" TEE. INSTALL 1" BALL VALVE IN METER BOX. INSTALL 1" PVC SCH 80 WATER LINE. INSTALL 1" PRIVATE REDUCED PRESSURE PRINCIPAL BACKFLOW DEVICE PER UDACS PLATE #8. INSTALL IN INSULATED ENCLOSURE FOR FROST PROTECTION. SEE LANDSCAPE PLANS FOR CONTINUATION.
- INSTALL WATER LINE UNDER EXISTING DRIVE USING EXISTING 4" PVC SLEEVE INSTALLED BY DEVELOPER.
- INSTALL 1"x6" SERVICE SADDLE AND 1" METER PER UDACS PLATE #4. WET TAP PER PLATE #34.
- RELOCATE EXISTING FIRE HYDRANT AS SHOWN USING 6" 90° BEND AND 6" DIP WATER LINE. RELOCATE PER UDACS PLATES #31 AND #40.
- WATER/STORM DRAIN CROSSING. MAINTAIN MINIMUM 12" SEPARATION PER THE UPC.
- REMOVE EXISTING CAP. INSTALL 6"x4" REDUCER. PROVIDE JOINT RESTRAINT PER NFPA STANDARDS (MEGA-LUG OR EQUAL).
- INSTALL 4" 45° BEND. PROVIDE JOINT RESTRAINT PER NFPA STANDARDS. (MEGA-LUG OR EQUAL).
- INSTALL 4" PVC C-900 CL200 (DR-14) FIRE LINE PER NFPA STANDARDS. MAINTAIN MINIMUM 36" OF COVER OVER TOP OF PIPE. INSTALL IN COMMON TRENCH WITH GAS LINE WHERE APPLICABLE.
- SEWER/FIRE CROSSING. MAINTAIN 18" VERTICAL SEPARATION.
- SEE FIRE SPRINKLER PLANS FOR CONTINUATION. VERIFY SIZE AND LOCATION OF RISER PRIOR TO CONSTRUCTION.
- INSTALL FDC PER NFPA STANDARDS. VERIFY LOCATION WITH SPRINKLER PLANS PRIOR TO CONSTRUCTION.

NOTE: DRY UTILITY LOCATIONS SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY. CONTRACTOR TO FINALIZE LOCATIONS IN THE FIELD WITH UTILITY COMPANIES.

PRIVATE SEWER CONSTRUCTION NOTES

- CONTRACTOR TO VERIFY SIZE, DEPTH AND LOCATION OF EXISTING SEWER STUB PRIOR TO INSTALLATION.
- INSTALL 6" PVC SDR-35 SEWER LINE TO INVERT ELEVATIONS SHOWN.
- INSTALL 6" SEWER CLEANOUT PER THE 2012 UPC. ADJUST TO FINAL FINISH GRADE.
- SEE PLUMBING PLANS FOR CONTINUATION. VERIFY SIZE, DEPTH AND LOCATION OF BUILDING CONNECTIONS PRIOR TO CONSTRUCTION.

FIRE FLOW CALCULATIONS

LVWWD APPROVED FIRE FLOW: TOTAL 1500 GPM / ONSITE 1500 GPM	
	PAD G
REQUIRED FIRE FLOW (GPM)	1,500
SQUARE FOOTAGE	4,800 SF
HEIGHT	22-35
TYPE OF CONSTRUCTION	V-B
SPRINKLER SYSTEM	YES
OCCUPANCY	B

REDUCED PRESSURE PRINCIPAL ASSEMBLY (1) 1"

APPROVED REDUCED PRESSURE PRINCIPAL ASSEMBLY(S) SHALL BE INSTALLED PER THE UDACS PLATE #8. NO WATER SHALL BE TAKEN FROM A SERVICE REQUIRING BACK FLOW PREVENTION UNTIL THE REDUCED PRESSURE PRINCIPAL ASSEMBLY HAS BEEN SUCCESSFULLY TESTED BY THE LVWWD.

ANY BLOCK WALL OR OTHER FENCES MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY.

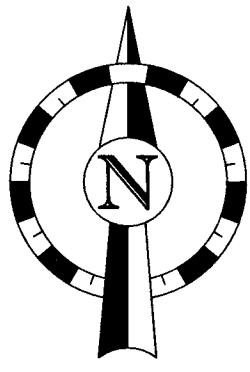
EASEMENTS SHALL BE CLEARLY MARKED OR STAKED PRIOR TO THE START OF CONSTRUCTION.

APPROVAL

LAS VEGAS FIRE AND RESCUE
DATE 6/13/19

APPROVED FOR CONSTRUCTION

LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES
PROJECT NO.: 136494 FIRST APPROVAL DATE: 6-20-19
LVWWD APPROVED FIRE FLOW: TOTAL 1500 GPM / ONSITE 1500 GPM
LVWWD APPROVAL IS VALID FOR ONE (1) YEAR FROM SIGNATURE DATE. IF CONSTRUCTION IS NOT STARTED, PLANS MUST BE RESUBMITTED FOR REVIEW AND APPROVAL.



SCALE: 1"=20'



3400 N. Doyart Road
Suite 130
Avondale, Arizona 85392
Phone: 623-547-2500
Fax: 623-547-2501

Call before you Overhead
1-800-227-2800
Call before you Dig
1-800-227-2800

HWY 95 AND SKYE CANYON

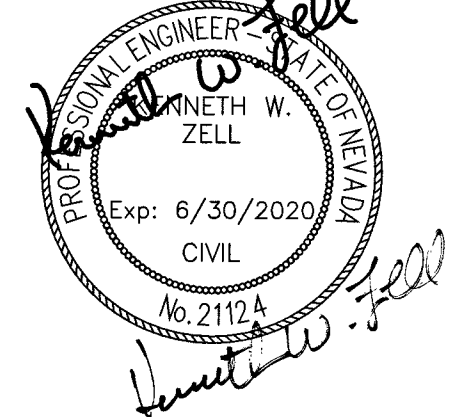
CHASE

NWC OF W SKYE CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

APM
ARCHITECTURE PLANNING INTERIORS

T: 480.988.0709
WWW.APMI.COM

8300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85258



DRAWN TWJ
DATE 4 JANUARY 2019
PROJECT 18105.00

UTILITY PLAN

C5
19-00372
107V7925
PROJ: 136494 QS: 125-07-NW

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ALTA / NSPS LAND TITLE SURVEY

OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 7,
TOWNSHIP 19 SOUTH, RANGE 60 EAST OF THE MOUNT DIABLO
BASE AND MERIDIAN, CLARK COUNTY, NEVADA

NOTES

- The basis of bearing is the monument line of Skye Canyon Park Drive, also being the South line of the Southwest quarter of Section 7, using a bearing of North 89 degrees 16 minutes 30 seconds West per Final Map, SKYE CANYON II PHASE 3, Book 153 of Maps, Page 17, records of Maricopa County, Arizona.
- The Benchmark used for this survey is the City of Las Vegas Rivet and Round Plate in top of curb, located at the Northwest corner of Oso Blanca Road and Tee Pee Lane near the point of curb of Oso Blanca Road having an elevation of 2659.096, feet (NAVD88).
- All title information and the description shown is based on a 3rd Amended Commitment for Title Insurance issued by Fidelity National Title Insurance Company, Order Number 42042303-421-421-BB1, dated December 20, 2018 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- There are no striped parking spaces on the subject property.
- There are no buildings on the subject property.
- According to FEMA Flood Insurance Rate Map, Map Number 32003C1735E, dated September 27, 2002, the subject property is located in Zone X. Zone X is defined as "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood."
- The surveyor was not provided with zoning information by the client pursuant to Table A item 6(a) and 6(b).
- The underground utilities shown are based on information obtained from plans and markings, combined with observed evidence. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. If this site is to be improved, the utilities and their locations shown on this survey should be verified. Please call an underground utility locator or "ARIZONA 811" at (602)263-1100 for the precise location and extent of all utilities in the area prior to any design and/or excavation.
- There was no observable evidence of cemeteries, gravesites, or burial grounds on the subject property as disclosed by record documents provided to the surveyor, or observed in the process of conducting the survey.
- The subject property has direct physical access to Skye Canyon Park Drive & Grand Canyon Drive, being improved and open public rights-of-way.
- The descriptions provided mathematically close and contain no gaps, gores or overlaps between the parcels described.
- Use of the information contained in this instrument for other than the specific purpose for which it was intended is forbidden unless expressly permitted in writing in advance by Superior Surveying Services, Inc. Superior Surveying Services, Inc. shall have no liability for any such unauthorized use of this information without their written consent.

SIGNIFICANT OBSERVATIONS

AT THE TIME OF THIS SURVEY THERE WAS NO VISIBLE EVIDENCE OF POTENTIAL ENCROACHMENTS OBSERVED ON SUBJECT PROPERTY

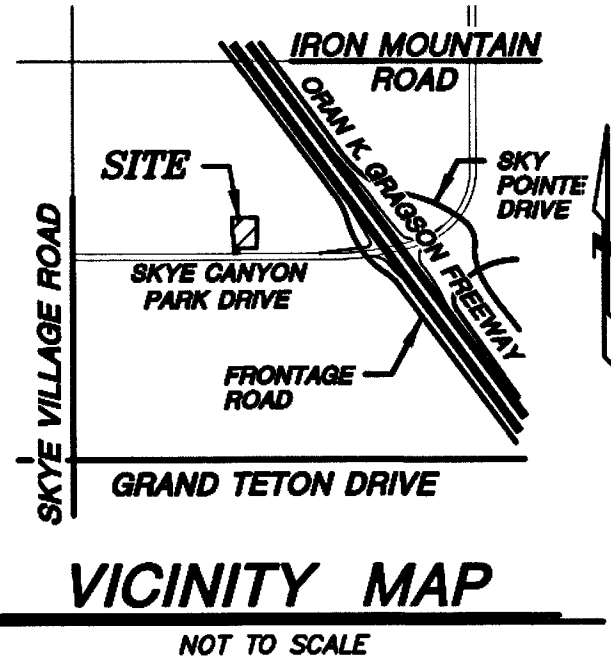
REFERENCES

GENERAL LAND OFFICE RECORDS ON FILE WITH THE U.S. DEPARTMENT OF THE INTERIOR BUREAU OF LAND MANAGEMENT

FINAL MAP OF "SKYE CANYON II PHASE 3" RECORDED IN BOOK 153 OF MAPS, PAGE 17, CLARK COUNTY RECORDS

SCHEDULE "B" ITEMS

- Mineral rights, reservations and easements in patent from the United States of America.
Recorded: August 3, 2005 in Book 20050803
Document No.: 01359, Official Records.
(PERTAINS TO LAND PATENT OVER SUBJECT PROPERTY - NOT PLOTTABLE)
- The terms, covenants, conditions and provisions as contained in an instrument, entitled "Development Agreement between City of Las Vegas and Kyle Acquisition Group, LLC" Recorded: August 8, 2007 in Book 20070808 Document No.: 00188, Official Records.
First Amendment and Restatement of said agreement
Recording Date: June 26, 2012
Recording No.: Book 20120626, Instrument No. 00001, of Official Records
Second Amendment and Restatement of said agreement
Recording Date: July 23, 2015
Recording No.: Book 20150723, Instrument No. 01557, of Official Records
(REFERENCES SUBJECT PROPERTY - NOT PLOTTABLE)
- Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document: Granted to: Las Vegas Valley Water District. Purpose: water pipelines and appurtenances
Recording Date: February 12, 2015
Recording No.: Book 20150212, Instrument No. 00641, of Official Records
(PLOTTED HEREON)
- Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document: Granted to: City of Las Vegas
Purpose: fire hydrants, public streetlights, traffic signals, conduits and appurtenances
Recording Date: February 19, 2015
Recording No.: 20150219-0001769, of Official Records
(PLOTTED HEREON)
- Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document: Granted to: City of Las Vegas
Purpose: pedestrian walkway
Recording Date: February 19, 2015
Recording No.: 20150219-0001790, of Official Records
and Re-Recording Date: December 28, 2016
and Re-Recording No.: 20161228-0001545, of Official Records
(PLOTTED HEREON)
- Dedication(s) and easement(s) and rights incidental thereto as indicated or delineated on the map of said tract/plot:
Recording No.: Book 153 of Plats, Page No. 17, of Official Records
(PLOTTED HEREON)
- Terms, provisions and conditions as contained in an instrument Entitled: Covenants, Conditions, Restrictions and Easements Agreement for Skye Canyon Marketplace
Recording Date: March 17, 2017
Recording No.: 20170317-0002809, of Official Records
(NON EXCLUSIVE EASEMENT OVER SUBJECT PROPERTY, COMMON AREAS & ADJOINING SHOPPING CENTER FOR INGRESS, EGRESS, MAINTENANCE, ACCESS PEDESTRIAN & VEHICULAR TRAFFIC, & UTILITIES - PLOTTABLE - THIS IS ALSO PARCEL 2)
- Terms, provisions and conditions as contained in an instrument Entitled: Declaration of Covenants, Conditions and Restrictions for the Commercial Area Known as Skye Canyon Marketplace Executed by: Skye Canyon Marketplace, LLC
Recording Date: March 17, 2017
Recording No.: 20170317-0002812, of Official Records
and Re-Recording Date: April 13, 2017
and Re-Recording No.: 20170413-0001525, of Official Records
(REFERENCES SUBJECT PROPERTY - NOT PLOTTABLE)
- Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document: Granted to: Las Vegas Valley Water District. Purpose: water pipelines
Recording Date: August 31, 2017
Recording No.: Book 20170831, Instrument No. 03890, of Official Records
(PLOTTED HEREON)
- Terms, provisions and conditions as contained in an instrument Entitled: Declaration of Restrictive Covenants Executed by: Skye Canyon Marketplace, LLC and KAG Development South LLC
Recording Date: May 18, 2018
Recording No.: 20180518-0001840, of Official Records
(REFERENCES SUBJECT PROPERTY - NOT PLOTTABLE)
- Terms, provisions and conditions as contained in an instrument Entitled: Memorandum of Right of First Offer Executed by: Remington Skye LLC and Skye Canyon Marketplace, LLC
Recording Date: May 18, 2018
Recording No.: 20180518-0001841, of Official Records
(REFERENCES SUBJECT PROPERTY - NOT PLOTTABLE)
- The effect of a Record of Survey File: 208, of Surveys, Page 6
Recording Date: May 23, 2018
Recording No.: Book 20180523, Instrument No. 0003721, of Official Records
(NO PLOTTABLE EASEMENTS REFERRING SUBJECT PROPERTY ARE CREATED BY THIS DOCUMENT)



DESCRIPTION

PARCEL 1:
PROPOSED LEGAL DESCRIPTION (PAD "G"):

A PORTION OF LOT 1 AS SHOWN IN BOOK 153, PAGE 17 OF PLATS, ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE, LYING WITHIN THE NORTHWEST QUARTER (NW 1/4) OF SECTION 7, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

COMMENCING AT A THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER (NW 1/4) OF SECTION 7; THENCE ALONG THE SOUTH LINE THEREOF, NORTH 89°16'30" WEST, 506.51 FEET; THENCE DEPARTING SAID SOUTH LINE, NORTH 00°43'30" EAST, 93.80 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°22'07" WEST, 164.04 FEET; THENCE SOUTH 00°43'30" WEST, 6.45 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 25.00 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 91°16'23", AN ARC LENGTH OF 39.83 FEET TO A POINT TO WHICH A RADIAL LINE BEARS SOUTH 00°32'53" EAST, SAID POINT BEING A POINT ON THE SOUTHERLY LINE OF SAID LOT 1; THENCE ALONG SAID SOUTHERLY LINE SOUTH 81°57'22" WEST, 37.49 FEET TO THE BOUNDARY LINE OF LOT 1A AS SHOWN IN FILE 202, PAGE 62 OF SURVEYS, ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE; THENCE DEPARTING SAID SOUTHERLY LINE AND ALONG SAID BOUNDARY LINE THE FOLLOWING FIVE (5) COURSES: 1) NORTH 00°43'30" EAST, 78.80 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE WEST, HAVING A RADIUS OF 190.00 FEET; 2) NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 15°43'18", AN ARC LENGTH OF 52.14 FEET TO THE BEGINNING OF A REVERSE CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 210.00 FEET, THROUGH WHICH A RADIAL LINE BEARS NORTH 75°00'12" EAST; 3) THENCE NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 15°43'18", AN ARC LENGTH OF 57.62 FEET; 4) THENCE NORTH 00°43'30" EAST, 82.02 FEET; 5) THENCE SOUTH 89°16'30" EAST, 190.45 FEET; THENCE DEPARTING SAID BOUNDARY LINE SOUTH 00°43'30" WEST, 228.40 FEET TO THE POINT OF BEGINNING.

PAUL BURN, PLS
PROFESSIONAL LAND SURVEYOR
NEVADA LICENSE NO. 11174
GCW INC.
1555 SOUTH RAINBOW BLVD
LAS VEGAS, NV

PARCEL 2:
A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS AND PARKING AS SET FORTH IN THAT CERTAIN COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS AGREEMENT FOR SKYE CANYON MARKETPLACE RECORDED MARCH 17, 2017 AS INSTRUMENT NO. 20170317-0002809, OFFICIAL RECORDS.
APN: 125-07-210-007 (portion)

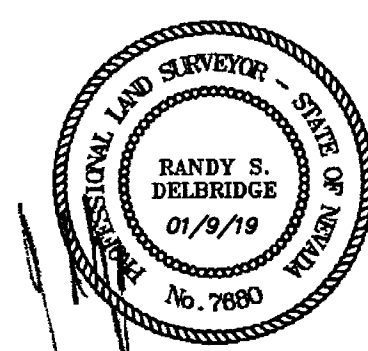
AREA = 0.989 ACRES
43,074 SQ. FT.

CERTIFICATION

To: JPMORGAN CHASE BANK, National Association; REMINGTON SKYE LLC, a Nevada limited liability company; and FIDELITY NATIONAL TITLE INSURANCE COMPANY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, and 11 of Table A thereof. The field work was completed on January 3, 2019.

Date of Plat or Map: January 7, 2019
Date Last Revised: January 9, 2019
Randy S. Delbridge
P.L.S. 7680



EXPIRES 12/31/20

SUPERIOR
SURVEYING SERVICES, INC.

DWN: ELR CHK: GBF
SHEET 1 OF 2
DATE: 1/7/19
JOB NO.: 181226

ALTA/NSPS LAND TITLE SURVEY
I-95 AND SKYE CANYON
LAS VEGAS, NV 89166

2122 W. Lone Cactus Drive, Suite 11
Las Vegas, NV 89077
623-869-0223 (office) 623-869-0726 (fax)
www.superiorsurveying.com
info@superiorsurveying.com

HWY 95 AND SKYE CANYON

APM
ARCHITECTURE PLANNING INTERIORS

CHASE

NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

T: 480.998.0709
WWW.APM.COM

8300 NORTH HAYDEN ROAD SUITE A-209
SCOTTSDALE, ARIZONA 85258

DRAWN
DATE 4 JANUARY 2019
PROJECT 18105.00

ALTA COVER

1 of 2
619-00372
107✓7875

TREE TABLE		
TREE NO.	TREE TYPE	SIZE
①	PINE	.6'
②	TREE	.4'
③	TREE	.5'
④	TREE	.8'

LINE TABLE		
LINE	BEARINGS	LENGTH
L1	S 00°43'30" W	6.45'
L2	S 81°57'22" W	37.49'

CURVE TABLE					
CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	25.00'	91°16'23"	39.83'	S44°54'41"E	35.75'

LEGEND

- BOUNDARY LINE
 CENTER LINE OR MONUMENT LINE
 CONCRETE SURFACE
 CATCH BASIN
 24 INCH VERTICAL CURB & GUTTER
 6 INCH CONCRETE CURB
 INDICATES DRIVEWAY (MEANS OF ACCESS)
 G UNDERGROUND GAS LINE
 S UNDERGROUND SEWER LINE
 SD UNDERGROUND STORM SEWER LINE
 W UNDERGROUND WATER LINE
 INDICATES BOUNDARY CORNER
 NOTHING FOUND OR SET
 SCHEDULE B ITEM
 COMMUNICATION JUNCTION BOX
 ELECTRIC BOX
 FIRE HYDRANT
 METAL GRATE (RECTANGULAR)
 LIGHT POLE
 STORM DRAIN MANHOLE
 SEWER MANHOLE
 STREET SIGN
 STUB OUT
 WATER VALVE
 A.P.N. ASSESSORS PARCEL NUMBER
 C.C.R. CLARK COUNTY RECORDS
 R/W RIGHT OF WAY
 BK. BOOK
 PG. PAGE
 (TYP.) TYPICAL
 (R) RECORD PER DESCRIPTION
 (M) MEASURED

ALTA/NSPS LAND TITLE SURVEY
I-95 AND SKYE CANYON
LAS VEGAS, NV 89166

2122 W. Lone Cactus Drive, Suite 11
Phoenix, AZ 85027
623-869-0223 (office) 623-869-0726 (fax)
www.superiorsurveying.com
info@superiorsurveying.com



SUPERIOR
SURVEYING SERVICES, INC.

DWN: ELR CHK: GBR
SHEET 2 OF 2
DATE: 1/7/10
JOB NO.: 181226

DRAWN
DATE 4.JANUARY.2019
PROJECT 18105.00

ALTA SURVEY

2 of 2
619-00372
107V7875

HWY 95 AND SKYE CANYON

CHASE

NWMC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

8300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85258
T: 480.998.0709
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Site plan for the New Branch Building at Sky Canyon Park Dr. The plan shows a 1-story building (3,650 S.F.) on a 0.07-acre pad. It includes parking spaces, landscaping areas, and a private drive. The building is labeled "NEW BRANCH BUILDING 3,650 S.F. 1 STORY - ±26'-6" A.F.F. A.P.N. 125-07-210-007 PAD G." The site is bounded by Sky Canyon Park Dr (Public) to the south and a Private Drive to the north. The plan includes various dimensions, bearings, and distances for the building, parking, and landscaping areas. A water main is shown crossing the site near the bottom left. The plan also shows existing landscaping to remain in place and a landscape setback.

1. CONCRETE CURBING.
2. PARKING LOT PAVING.
3. CONCRETE SIDEWALK.
4. RECYCLED RUBBER WHEEL STOP.
5. ADA RAMP.
6. ACCESSIBLE PARKING AND SIGNAGE.
7. PAINTED PARKING STRIPING.
8. PAINTED DIRECTION ARROWS.
9. LANDSCAPE AREA.
10. TRASH ENCLOSURE. - SEE DETAIL 1/A0.3
11. POLE LIGHT.
12. DRIVE-UP ATM LOCATION.
13. EXISTING FIRE HYDRANT.
14. EXISTING FIRE HYDRANT TO BE RELOCATED.
15. BIKE RACK.
16. MONUMENT SIGN. UNDER SEPARATE PERMIT.
17. PAD BOUNDARY LINE.
18. ACCESSIBLE CONNECTION TO RIGHT OF WAY.
19. PREFABRICATED "SIGNATURE CANOPY" BY CHASE VENDOR
- SEE ELEVATIONS SHEET A2.3
20. NEW FIRE HYDRANT
21. PROPOSED LOCATION OF NEE TRANSFORMER
22. EXISTING LANDSCAPING TO REMAIN IN PLACE
23. REMOTE FDC
24. PCOP THICKNESS PER CIVIL. PROVIDE INTEGRALLY
COLORED BLACK CONCRETE. COLOR ADDITIVE TO BE 9.5
LBS OF "GRAPHITE" PER SACK OF CEMENT
25. MASONRY RETAINING WALL - SEE CIVIL & STRUCTURAL
DRAWINGS AND DETAIL 10/A0.5

PUBLIC ADA ACCESSIBLE ROUTE

OWNER:
J.P. MORGAN CHASE, N.A.
CORP. REAL ESTATE SERVICES
201 NORTH CENTRAL AVENUE, 25TH FLOOR
PHOENIX, ARIZONA 85004

JOE M. HERNANDEZ
T 602.221.4601
E joe.m.hernandez@jpmchase.com

ARCHITECT:
APMI, INC.
8300 NORTH HAYDEN ROAD
SUITE A-209
SCOTTSDALE, ARIZONA 85258

ADAM SIROS
T 480.988.0709
E asiros@apmi.com

PROJECT LOCATION:
NORTHWEST CORNER OF SKYE CANYON PARK DRIVE AND GRAND CANYON DRIVE
LAS VEGAS, NEVADA

PARCEL NUMBER:
125-07-210-007

PROJECT DESCRIPTION:
CONSTRUCTION OF A NEW BANK BRANCH AND ASSOCIATED SITE IMPROVEMENTS

EXISTING ZONING:
TRADITIONAL DEVELOPMENT DISTRICT (T-D)

PROPOSED USE:
FINANCIAL INSTITUTION, GENERAL

AREA CALCULATIONS:
SITE AREA: 43,075 S.F. (0.98 ACRES)
BUILDING AREA: 3,485 S.F.
BUILDING COVERAGE: 7%

REQUIRED PARKING:
REQUIRED PARKING (1/200 S.F.) 18 SPACES
REQUIRED H.C. PARKING: 2 SPACES

PROVIDED PARKING: 40 SPACES
~~PROVIDED H.C. PARKING: 2 SPACES~~
TOTAL PARKING PROVIDED: 42 SPACES

APPLICABLE CODES:
2012 INTERNATIONAL BUILDING CODE
2012 UNIFORM MECHANICAL CODE
2012 UNIFORM PLUMBING CODE
2011 NATIONAL ELECTRIC CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2012 INTERNATIONAL FIRE CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
2009 ICC 117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

ALL CODES AS MODIFIED BY CITY OF LAS VEGAS AMENDMENTS.

CONSTRUCTION TYPE: 'B' OCCUPANCY

CONSTRUCTION TYPE: TYPE V-B CONSTRUCTION

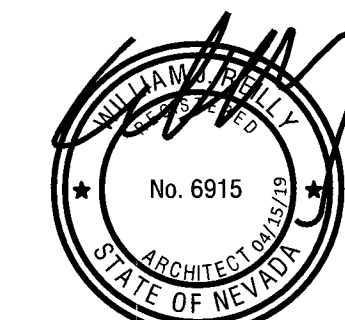
A PORTION OF LOT 1 AS SHOWN IN BOOK 153, PAGE 17 OF PLATS, ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE, LYING WITHIN THE NORTHWEST QUARTER (NW 1/4) OF SECTION 7, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

COMMENCING AT A THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER (NW 1/4) OF SECTION 7; THENCE ALONG THE SOUTH LINE THEREOF, NORTH 89°16'30" WEST, 506.51 FEET; THENCE DEPARTING SAID SOUTH LINE, NORTH 00°43'30" EAST, 93.80 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°27'00" WEST, 167.04 FEET; THENCE SOUTH 00°15'00" WEST, 100.00 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 25.00 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 91°16'23", AN ARC LENGTH OF 39.83 FEET TO A POINT TO WHICH A RADIAL LINE BEARS SOUTH 81°57'22" WEST, 37.49 FEET TO THE BOUNDARY LINE OF LOT 1A AS SHOWN IN FILE 202, PAGE 62 OF SURVEYS, ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE; THENCE DEPARTING SAID BOUNDARY LINE, NORTH 00°43'30" EAST, 78.80 FEET TO THE BEGINNING OF A CURVE, CONCAVE TO THE WEST, HAVING A RADIUS OF 190.00 FEET; 2) NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 15°43'18", AN ARC LENGTH OF 52.14 FEET TO THE BEGINNING OF A SECOND CURVE, CONCAVE TO THE WEST, HAVING A RADIUS OF 10.00 FEET, THROUGH WHICH A RADIAL LINE BEARS NORTH 75°00'12" EAST; 3) THENCE NORTHERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 15°43'18", AN ARC LENGTH OF 57.62 FEET; 4) THENCE NORTH 00°43'30" EAST, 82.02 FEET; 5) THENCE SOUTH 89°16'30" EAST, 190.45 FEET; THENCE DEPARTING SAID BOUNDARY LINE, SOUTH 00°43'30" WEST, 228.40 FEET TO THE POINT OF BEGINNING.

The map shows a street grid with Skye Canyon Park Dr running horizontally and Grand Teton Dr running vertically. Skye Village Rd runs vertically on the left side. US Highway 95 runs diagonally from the bottom right towards the top. A shaded rectangular area on Skye Canyon Park Dr, between Skye Village Rd and Grand Teton Dr, is labeled 'PROJECT SITE'. A line points from the text 'PROJECT SITE' to this shaded area. Another line points from the text '8172 SKYE CANYON DR' to the same area. The text 'SKYE CANYON PARK DR' is written above the horizontal street. The text 'GRAND TETON DR' is written below the vertical street. The text 'US HIGHWAY 95' is written along the diagonal road. The text 'SKYE VILLAGE RD' is written along the left vertical road.

APM
ARCHITECTURE PLANNING INTERIORS

3300 NORTH HAYDEN ROAD, SUITE A-208
T. 480.988.0709



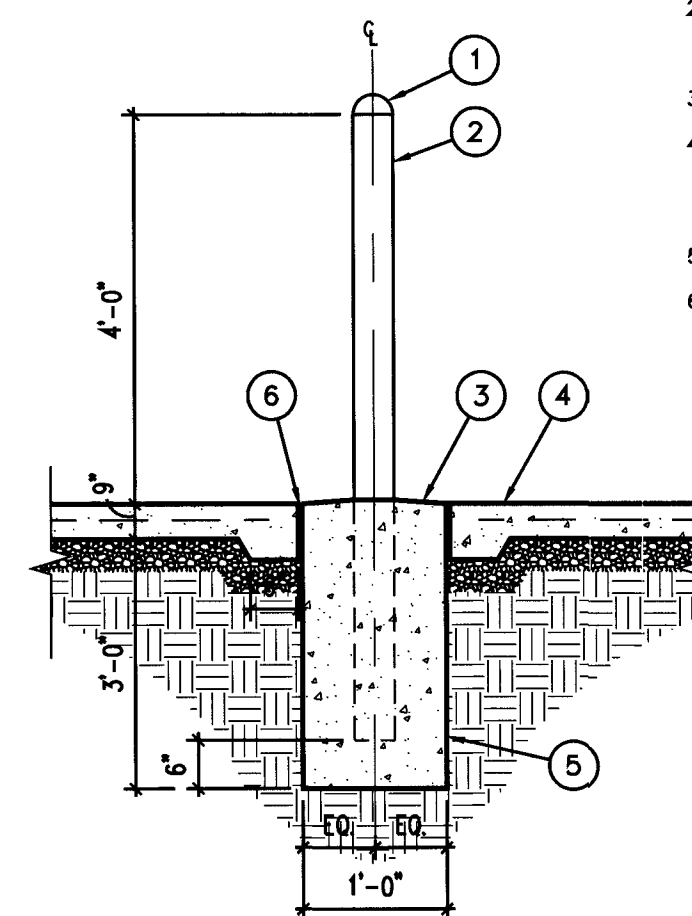
DRAWN JCG
DATE 4.JANUARY.2019
PROJECT 18105.00

SITE PLAN

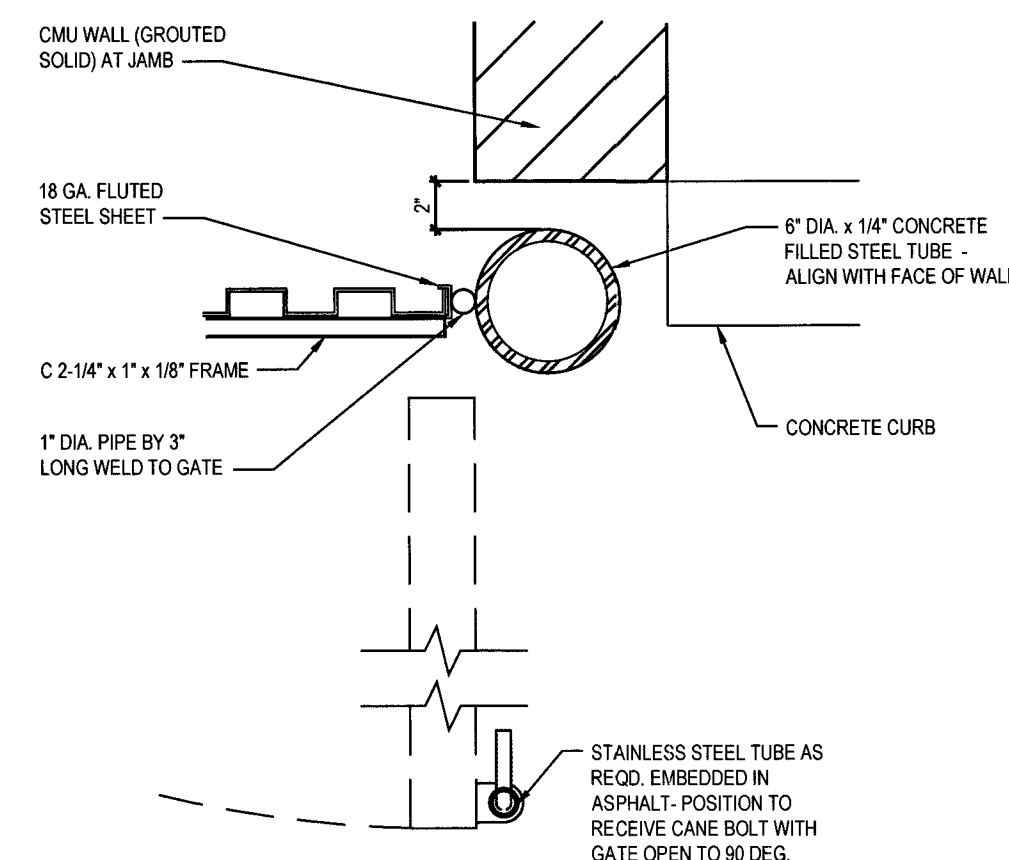
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419-00372
10747875

SCALE: 1" = 1'-0"

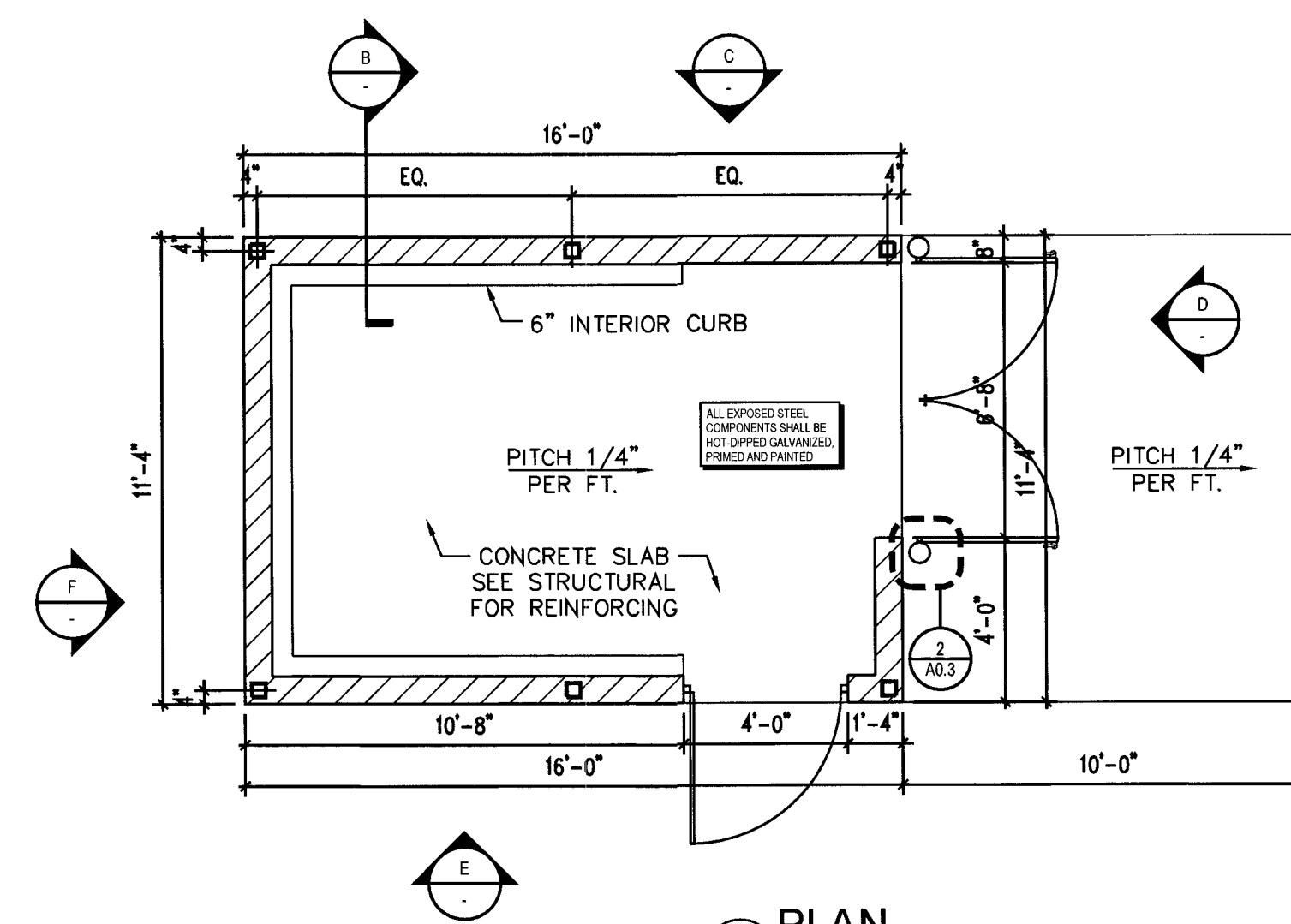
1. CEMENT CROWN. GRIND SMOOTH. PAINT.
2. 6" STANDARD GALV. PIPE FILLED WITH CONCRETE. PAINT TO MATCH BUILDING COLOR "SANDLEWOOD BEIGE".
3. CEMENT WASH.
4. 9" THICK CONCRETE SLAB WITH #4 REBAR @ 16" O.C. EACH WAY OVER COMPACTED SUBGRADE. ENCLOSURE SLAB SHALL HAVE NO SLOPE
5. CONCRETE ENVELOPE.
6. EXPANSION JOINT WITH CONT. SEALANT.



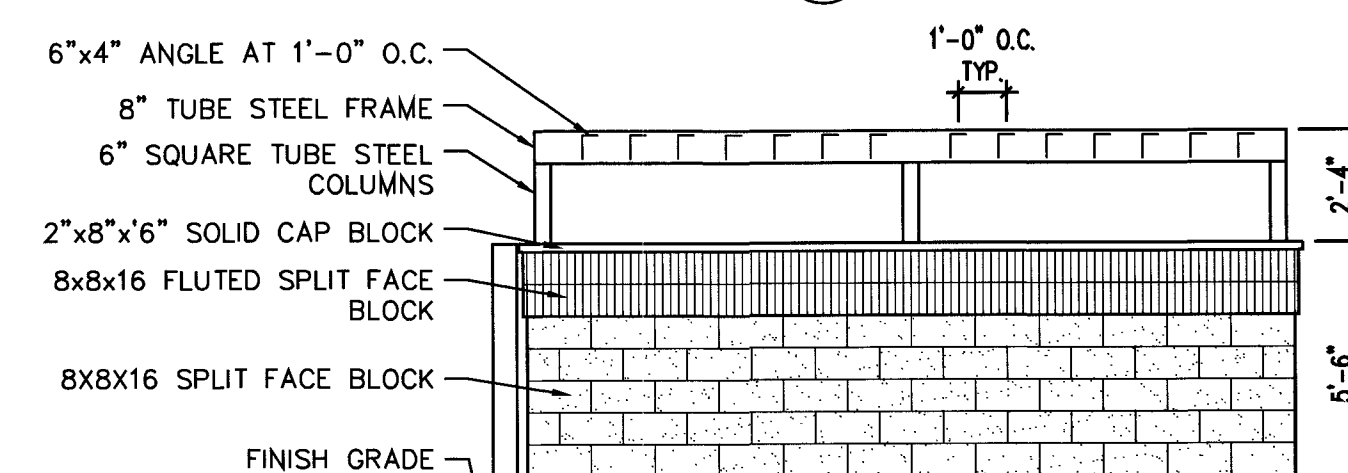
SCALE: $1/2" = 1'-0"$



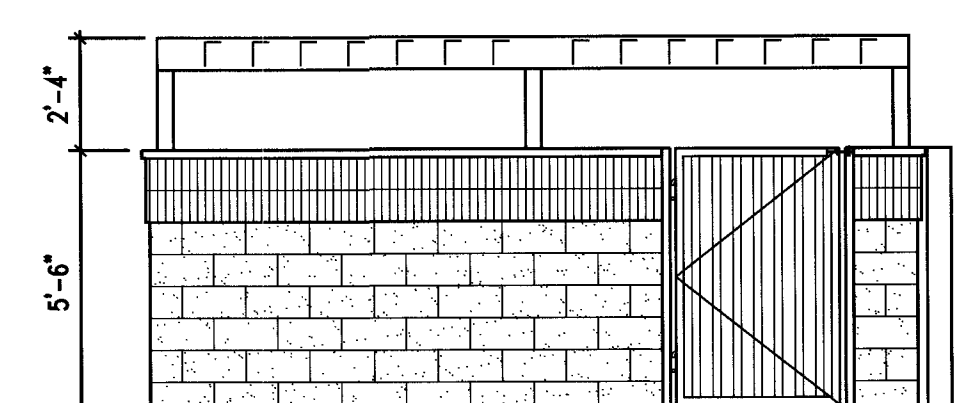
SCALE: 1 1/2" = 1'-0"



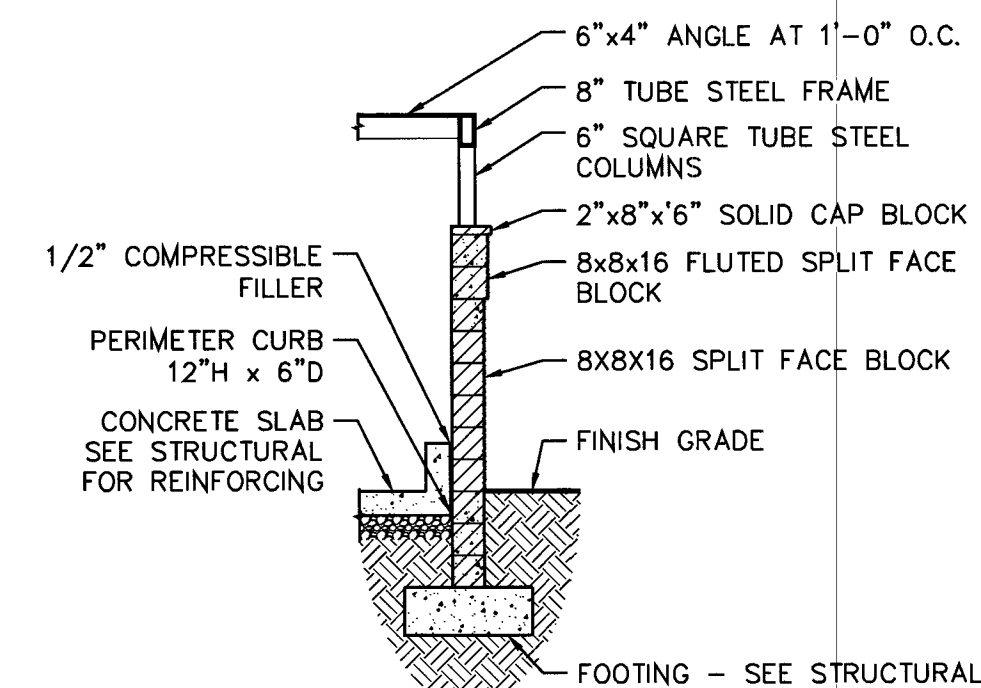
PLAN



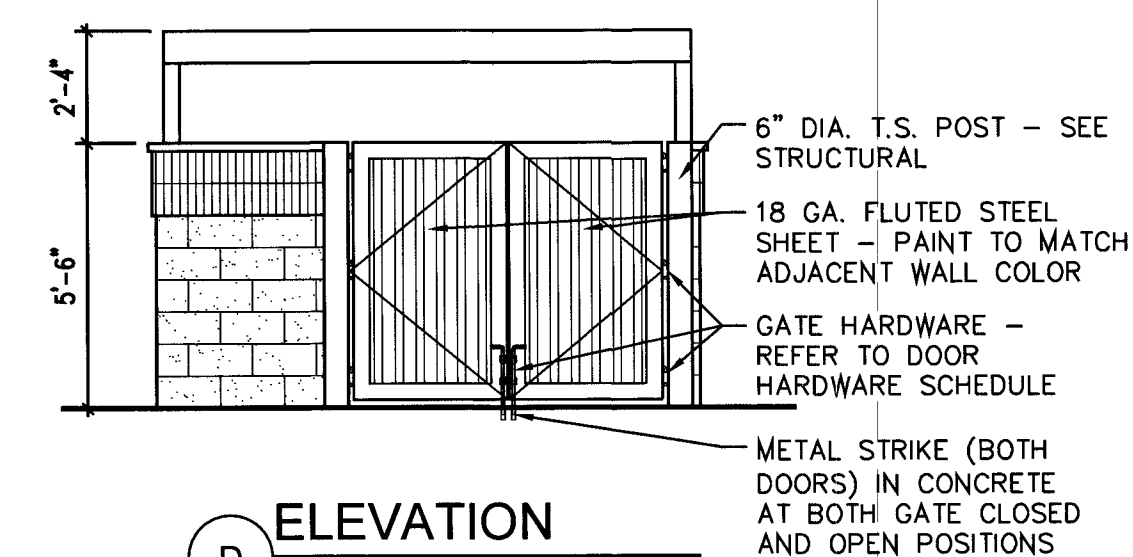
 ELEVATION



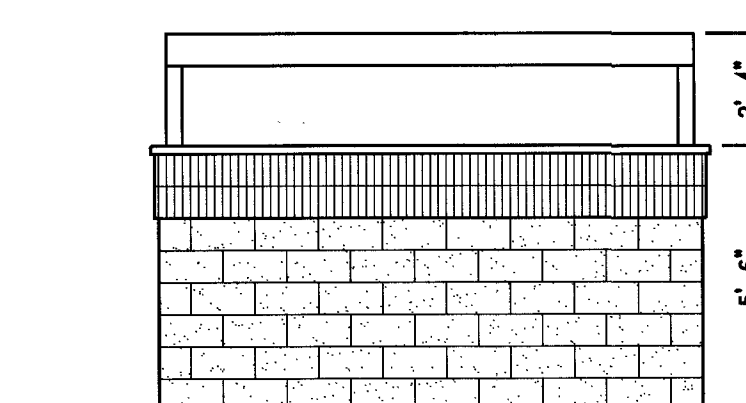
ELEVATION



SECTION



ELEVATION



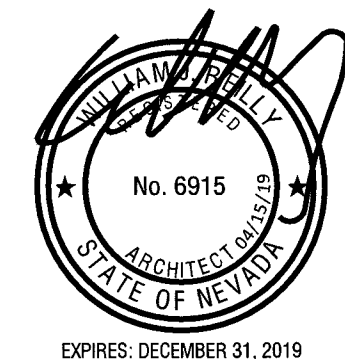
ELEVATION

[illegible]

APRIL

T: 480.998.0709
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33300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85258



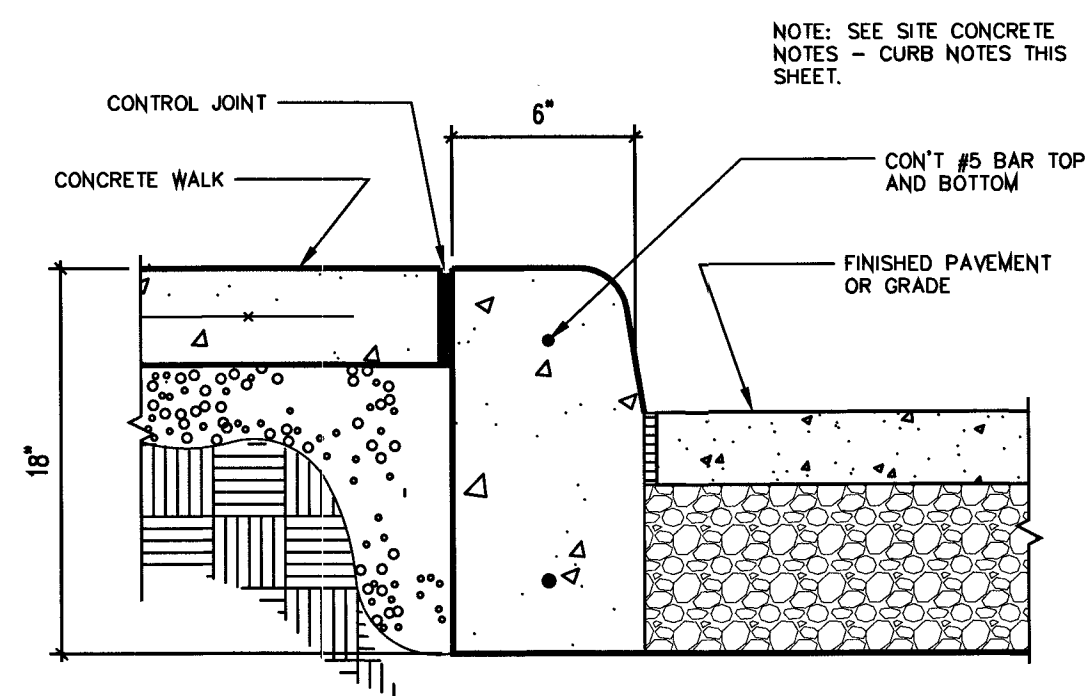
DRAWN JCG
DATE 4.JANUARY.2019
PROJECT 18105.00

TRASH ENCLOSURE DETAIL

L19-00375
107V7875

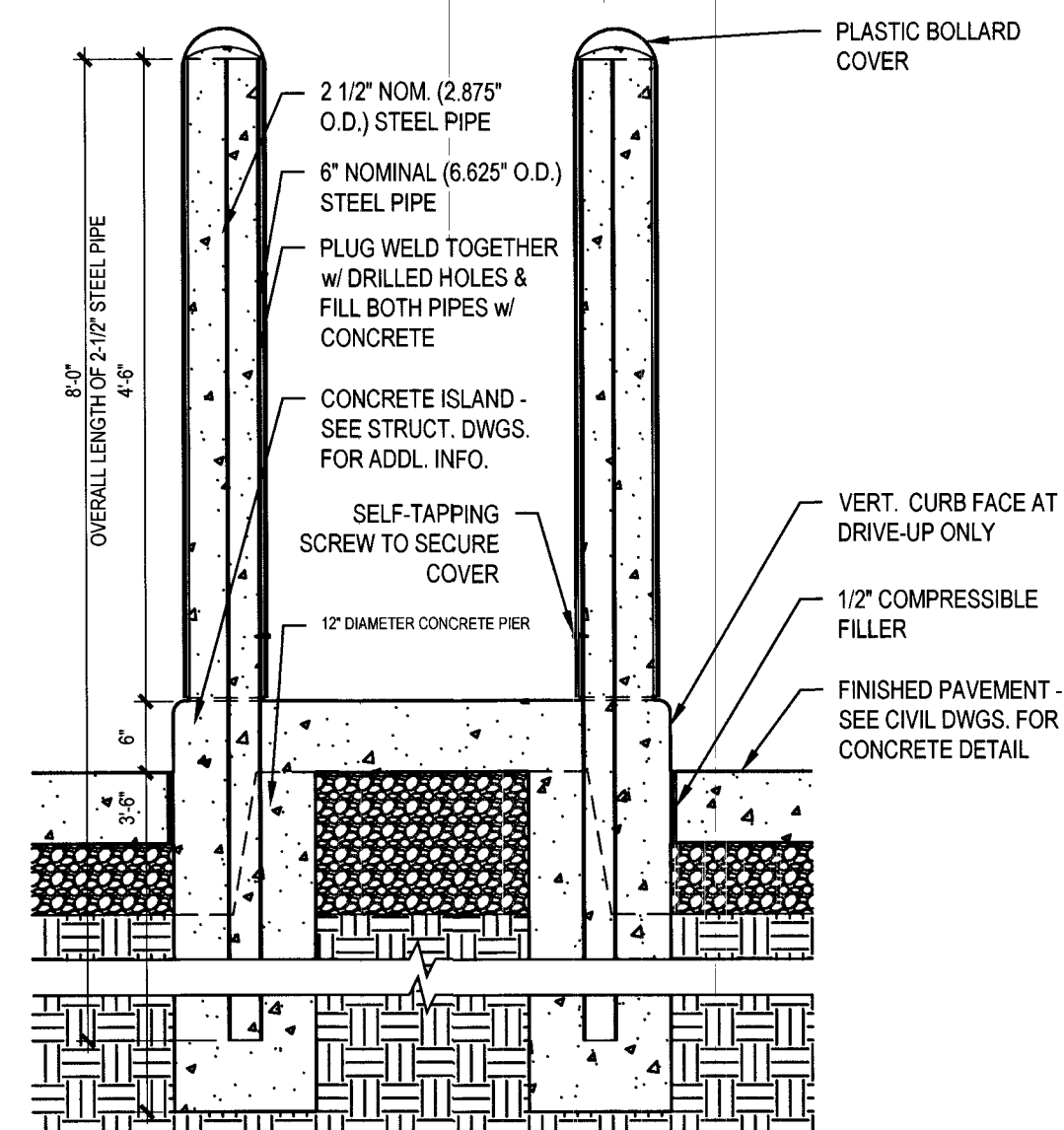
A0.3

THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY APAL, INC., AND/OR ITS CONSULTANT, AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THE INTELLECTUAL PROPERTY OF APAL, INC., AND/OR ITS CONSULTANT, AND ANY ELEMENTS HEREIN, CONSTITUTE THE ORIGINAL, COPYRIGHTED WORK OF APAL, INC., AND/OR ITS CONSULTANT, Q2019 APAL, INC. ALL DRAWINGS, SPECIFICATIONS OF 1980.



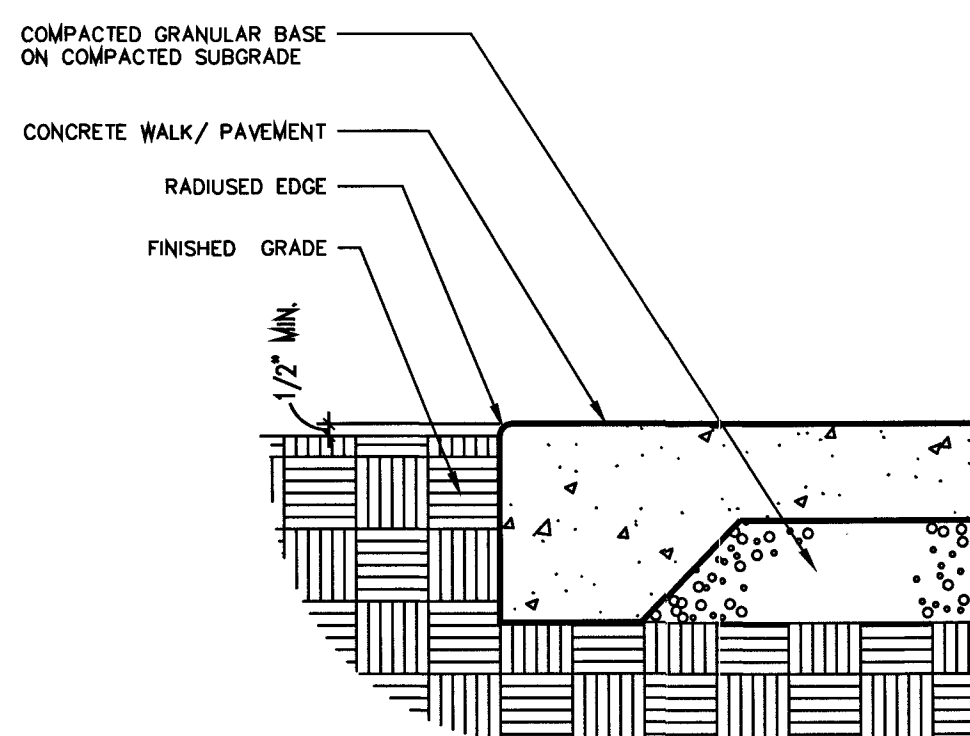
5 EDGE OF SIDEWALK @ PAVING

SCALE: 1-1/2" = 1'-0"



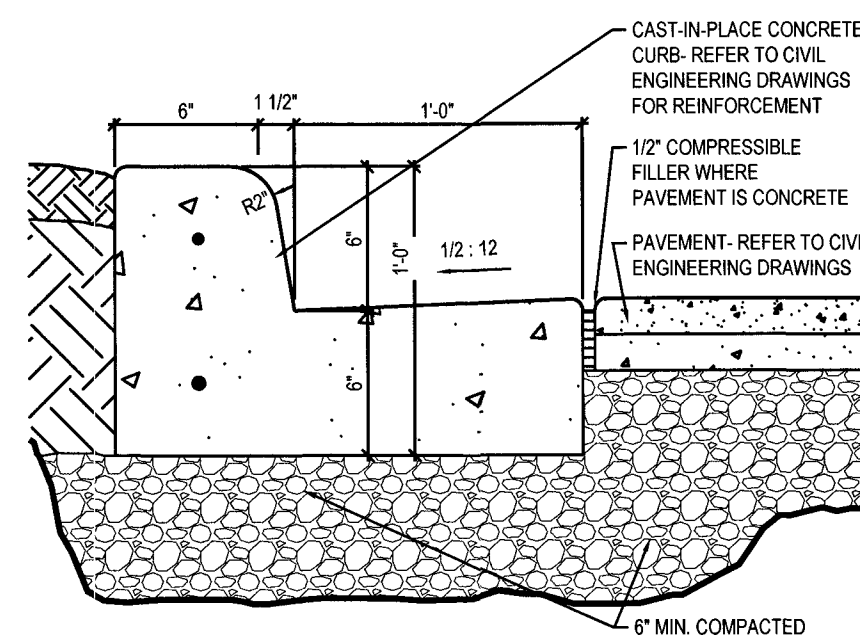
2 ATM BOLLARD

SCALE: $1/2" = 1'-0"$



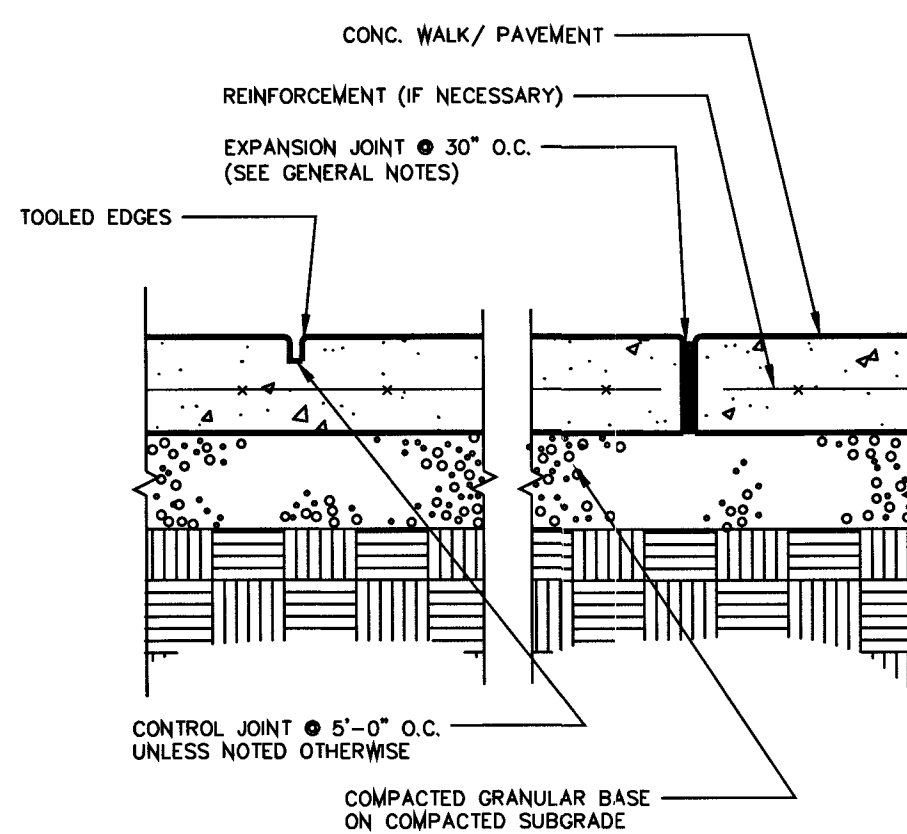
7 SIDEWALK @ LANDSCAPE

SCALE: 1-1/2" = 1'-0"



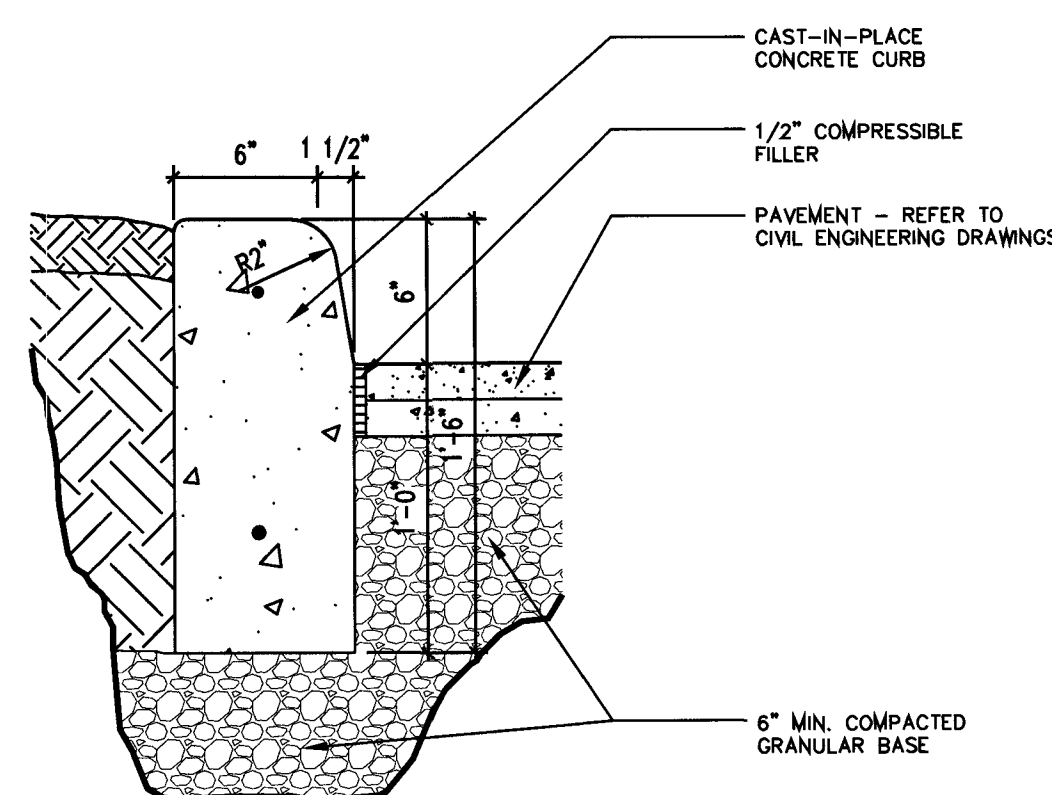
4 B-CURB WITH GUTTER

SCALE: $1-1/2'' = 1'-0''$



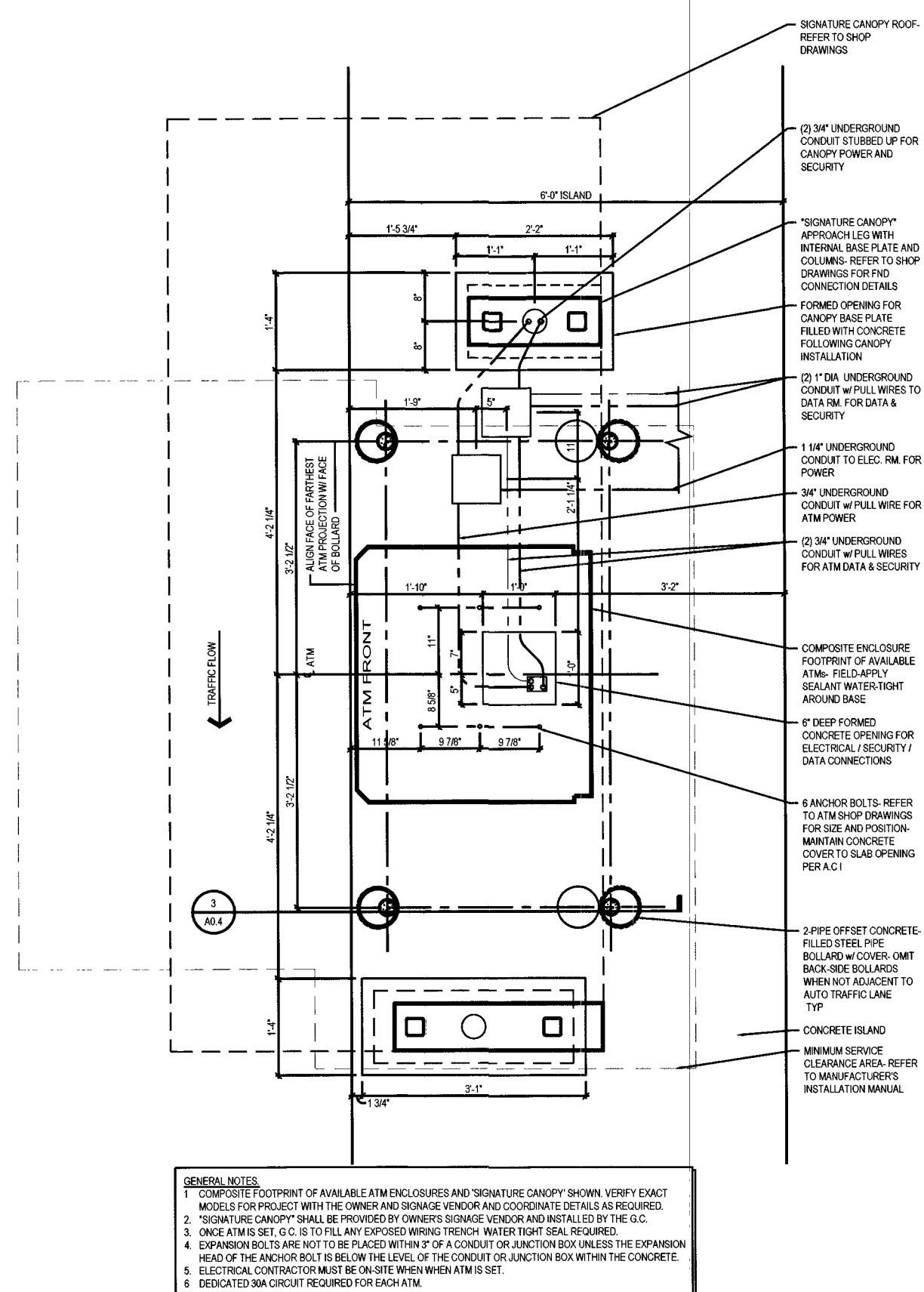
6 EXPANSION / CONTROL JOINTS

SCALE: 1-1/2" = 1'-0"



3 BARRIER CURB

SCALE: $1-1/2" = 1'-0"$



1 ATM AT SIGNATURE CANOPY

SCALE: $1/2" = 1'-0"$

[illegible]

HWY 95 AND SKYE CANYON

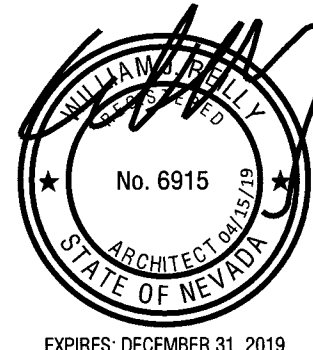


NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
LAS VEGAS, NEVADA

APM

T: 480.998.0709
WWW.APMI.COM

8300 NORTH HAYDEN ROAD, SUITE A-209
SCOTTSDALE, ARIZONA 85258



EXPIRES: DECEMBER 31, 2019

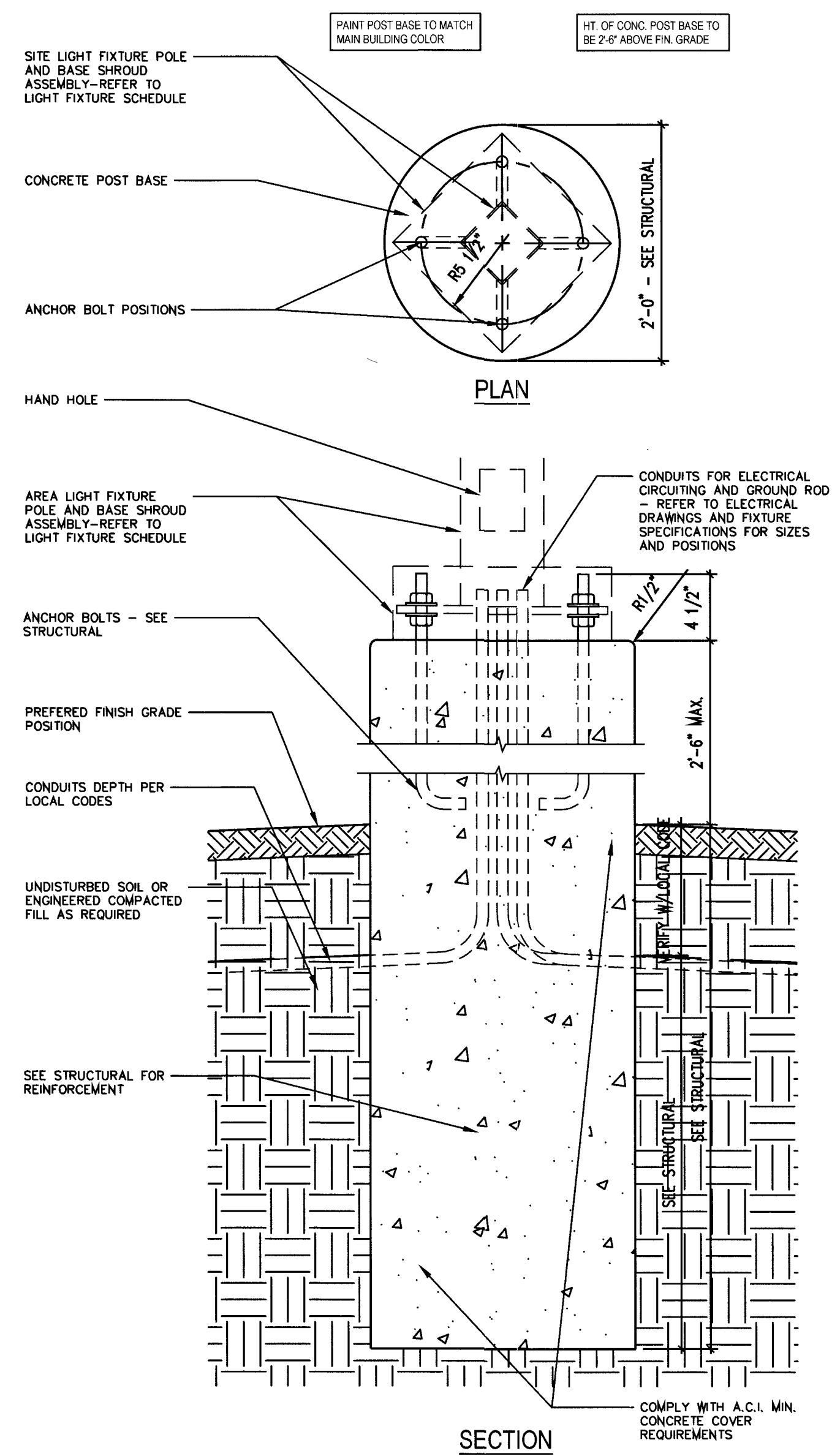
DRAWN	JCG
DATE	4.JANUARY.2019
PROJECT	18105.00

DRIVE-UP ISLAND DETAILS

SITE PAVING DETAILS

A0.4

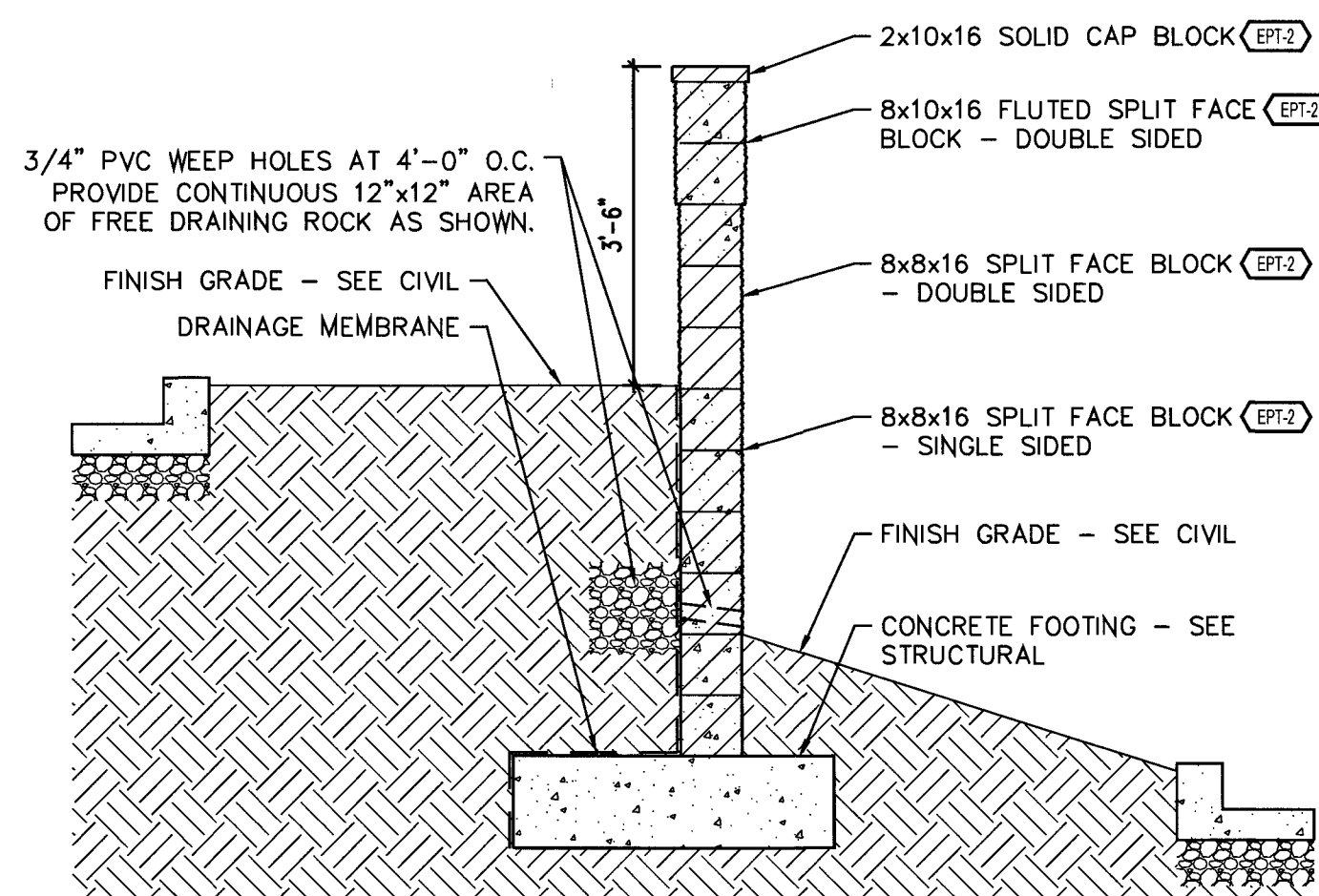
L19-00372
107V7875



8 SITE LIGHT POLE BASE

SCALE: 1 1/2" = 1'-0"

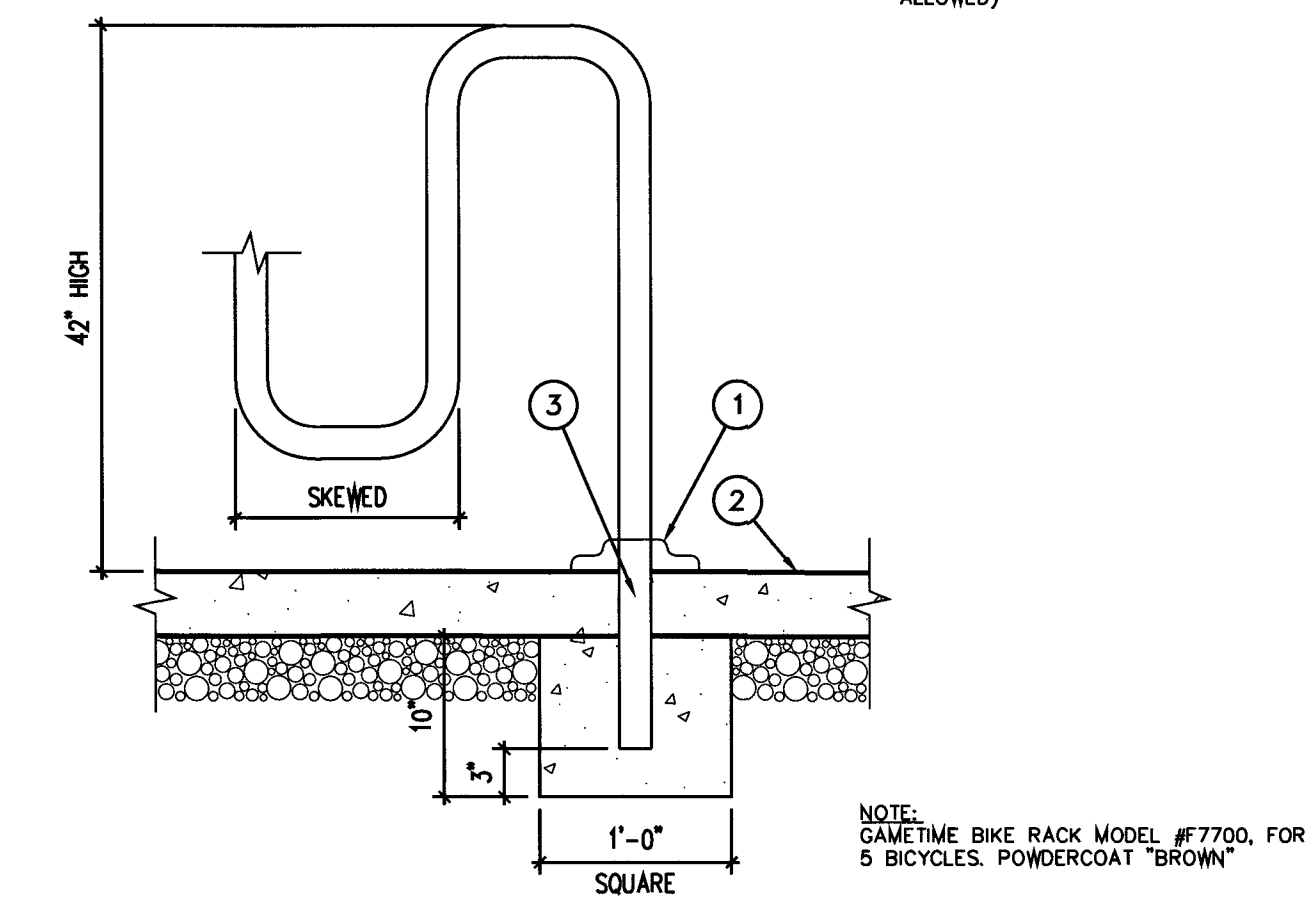
- KEY NOTES:
1. MATCHING BASE COVER
 2. 4" CONCRETE SLAB OVER 4" A.B.C.
 3. EMBED MOUNT (SURFACE MOUNT NOT ALLOWED)



10 RETAINING WALL DETAIL

SCALE: 1/2" = 1'-0"

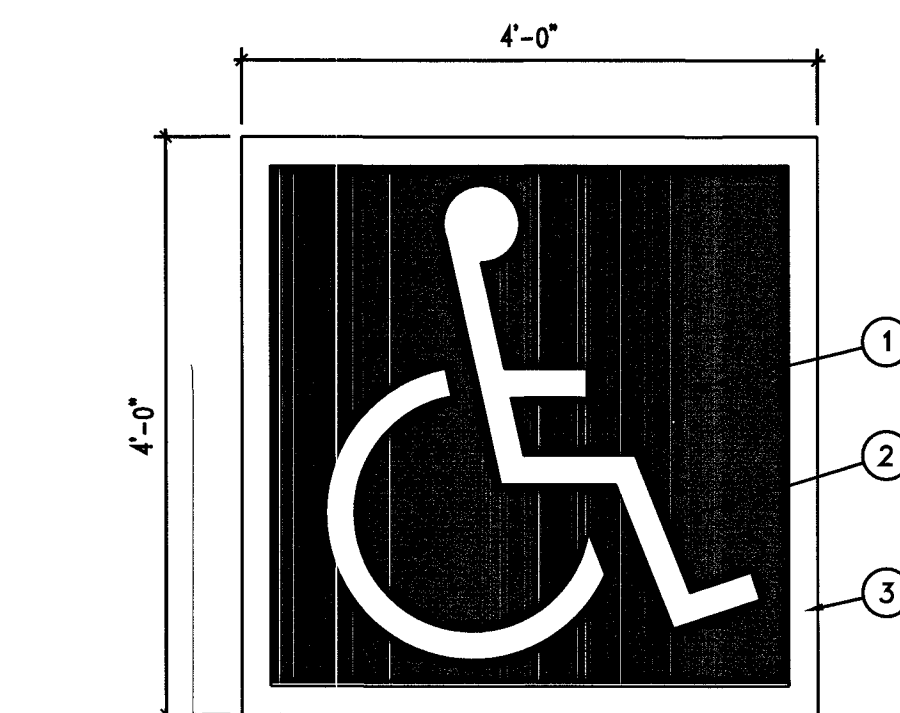
DE T030



7 BIKE RACK

SCALE: 1" = 1'-0"

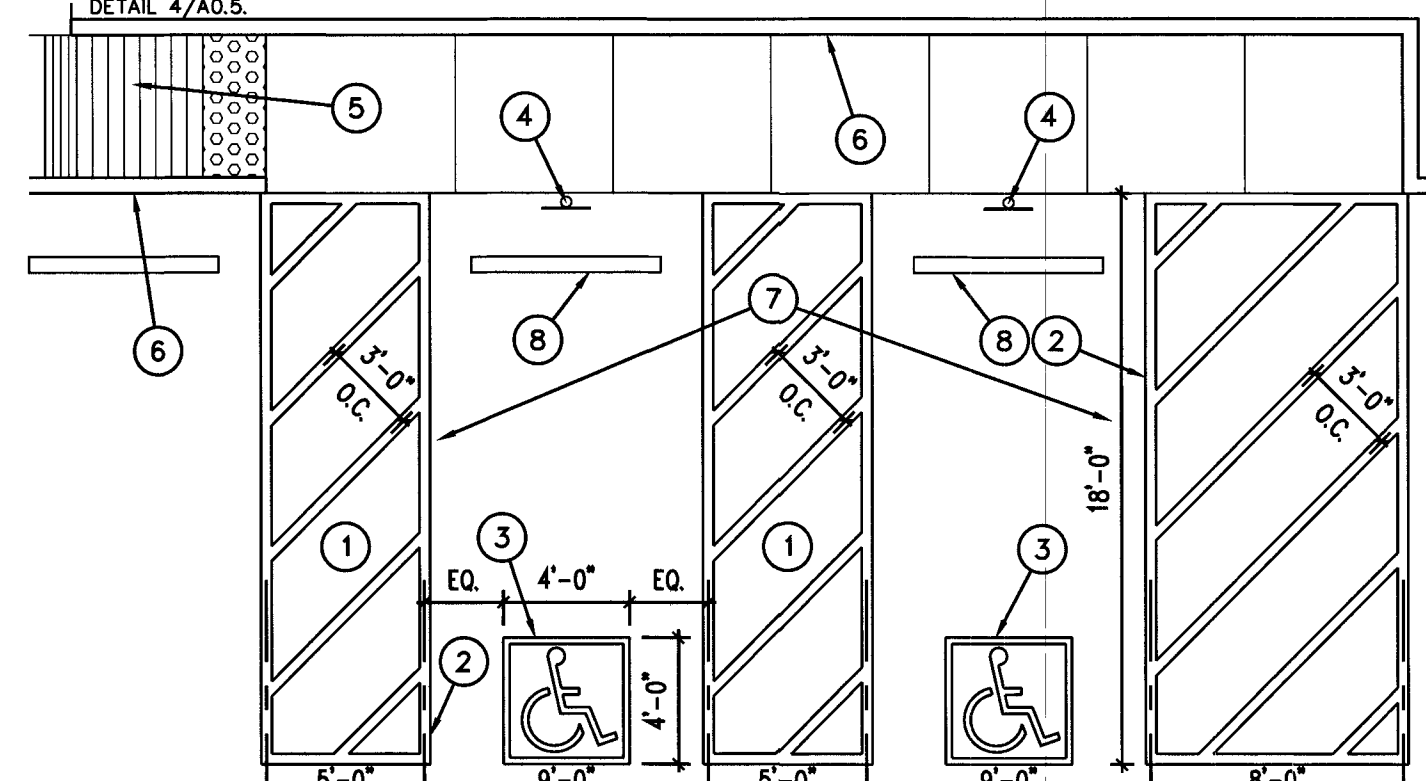
- NOTE:**
GAMETIME BIKE RACK MODEL #F7700, FOR
5 BICYCLES. POWDERCOAT "BROWN"



4 ACCESSIBLE SYMBOL

SCALE: 1" = 1'-0"

- KEY NOTES:**
1. PAINT BLUE (TRAFFIC)
 2. PAINT WHITE (FIGURE)
 3. PAINT WHITE (BORDER)

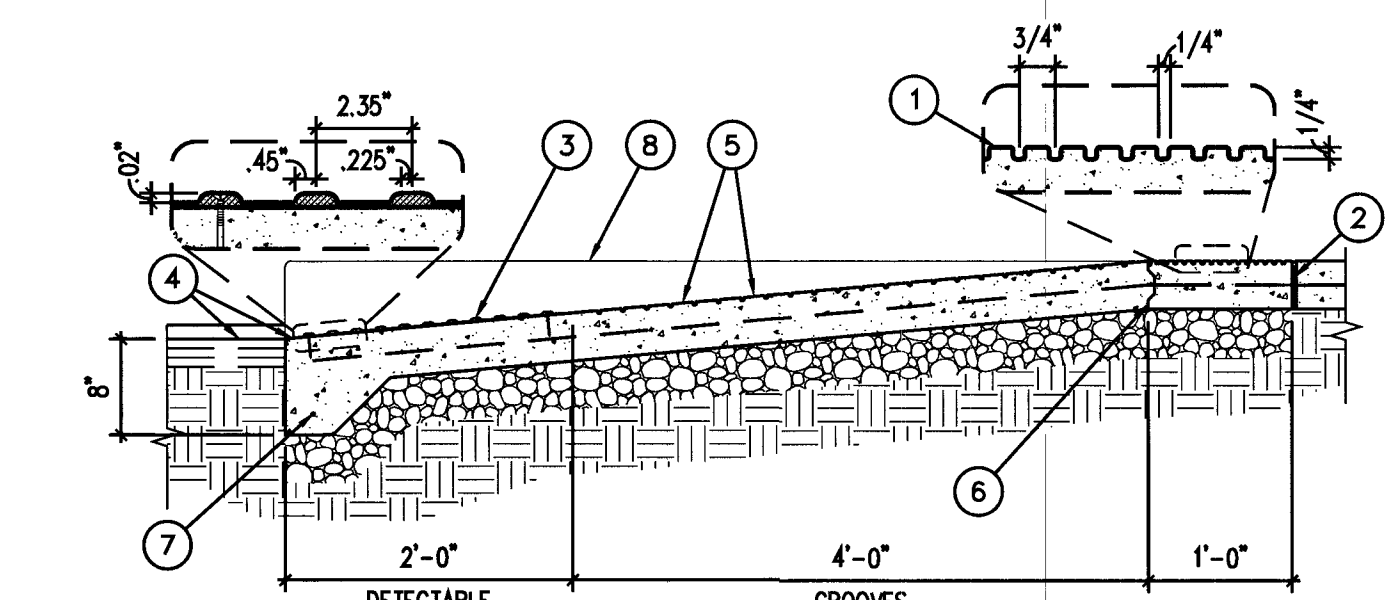


1 ACCESSIBLE PARKING SPACES

SCALE: N.T.S.

- | KEY NOTES: | KEY NOTES: | GENERAL NOTES: |
|---|---|---|
| 1. 5'-0" ACCESS AISLE REQUIRED W/ 4" WHITE BORDER. | 4. ACCESSIBLE SIGN REQUIRED. SEE DETAIL 5/A.O.S.- SEE SITE PLAN FOR LOCATION | A. NO SLOPES GREATER THAN 2% WITHIN PARKING STALLS AND ACCESS AISLE - COORDINATE WITH GRADING AND DRAINAGE PLAN |
| 2. ACCESSIBLE SPACES MUST BE OUTLINED IN COLORS CONTRASTING TO REGULAR PARKING SPACES | 5. CURB RAMP MAX. 1:12 SLOPE. SEE DETAIL 2/A.O.S. | |
| • 4" OUTLINE STRIPING REQUIRED (TRAFFIC WHITE PREFERRED) | 6. CURB. | |
| 3. INTERNATIONAL ACCESSIBLE SYMBOL REQUIRED.
• BLUE AND YELLOW SYMBOL PREFERRED.
• SYMBOL CAN BE DISPLAYED WITHOUT BLUE BACKGROUND. SEE DETAIL 4/A.O.S. | 7. CONCRETE TO BE INTEGRAL COLOR, DAVIS COLOR #0804 GRAPHITE IN ADA PARKING AND ACCESS AISLE. | |
| | 8. INSTALL WHEEL STOPS. SEE DETAIL 6/A.O.S. | |

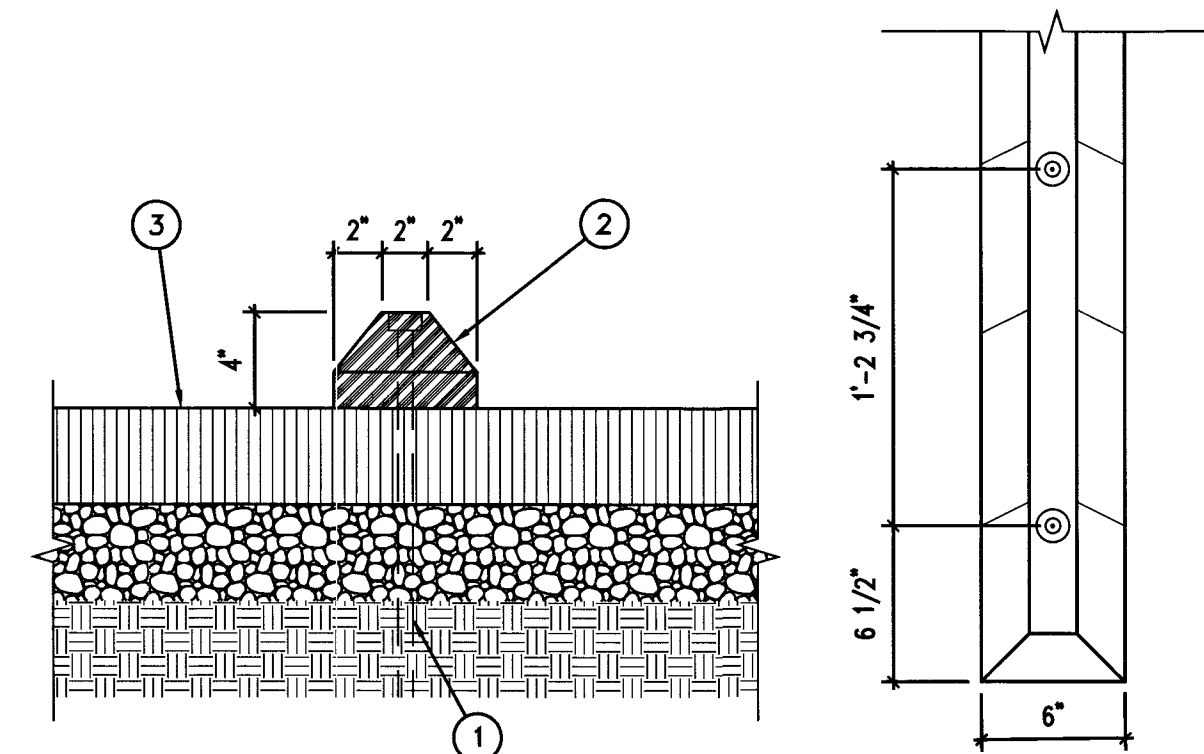
- GENERAL NOTES:**
A. NO SLOPES GREATER THAN 2%
WITHIN PARKING STALLS AND
ACCESS AISLE - COORDINATE WITH
GRADING AND DRAINAGE PLAN



3 RAMP SECTION

SCALE: $3/4" = 1'-0"$

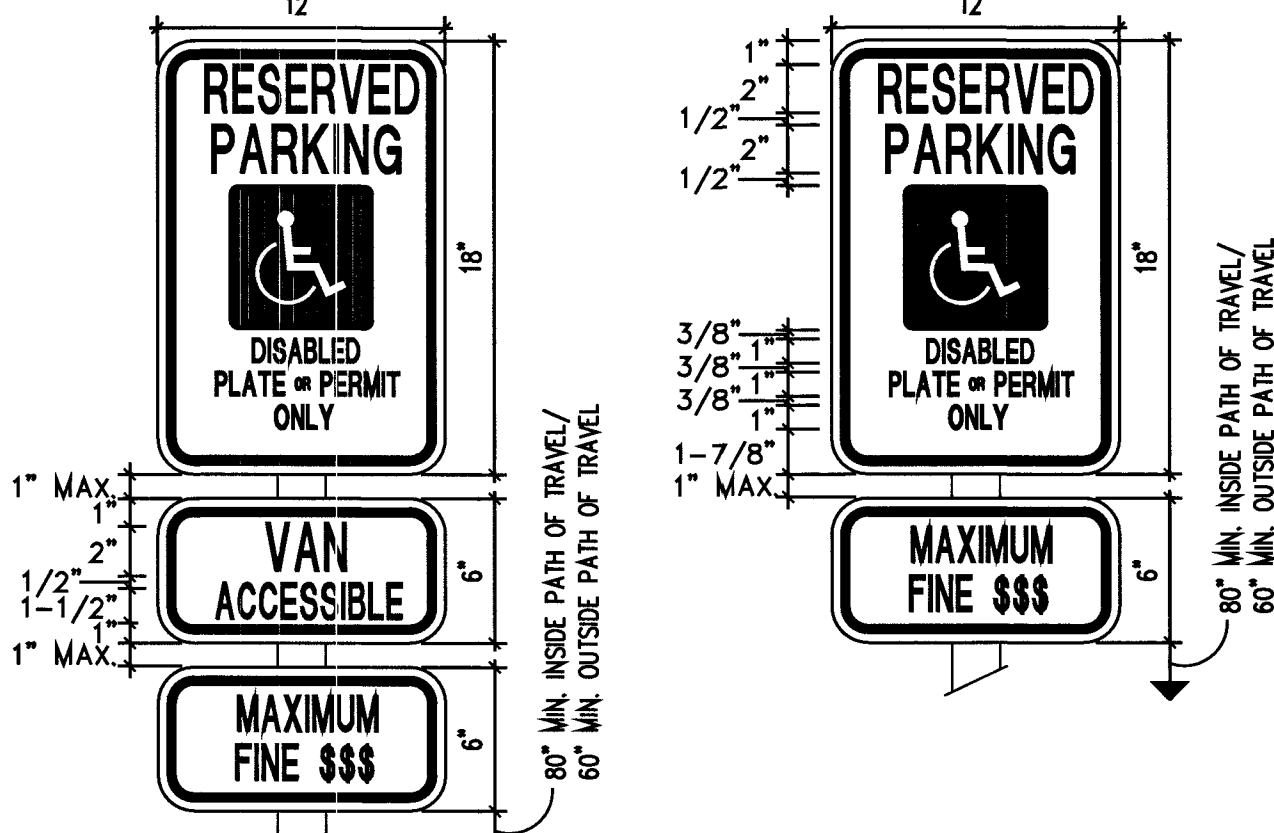
- KEY NOTES:**
1. 1/4" DEEP SCORE JOINTS AT 3/4" O.C. (TACTILE WARNING).
 2. 3/8" EXPANSION JOINT - RECESS 1/2" BELOW TOP OF SLAB AND FILL WITH TRAFFIC DUTY SEALANT.
 3. PLASTIC TRUNCATED DOME MAT OVER CONCRETE RAMP. COLOR TO MATCH DEVELOPMENT STANDARDS.
 4. TOP OF PAVING AND RAMP WITH 1/2" MAX. Lip - BEVEL UP AT 24° ANGLE.
 5. 4" CONCRETE RAMP WITH #3 REIN. BAR AT 16" O.C. BOTH WAYS.
 6. CONTINUOUS KEY JOINT.
 7. #5 CONTINUOUS REBAR - DOWEL INTO CURB EACH SIDE.
 8. CURB BEYOND.



6 RECYCLED RUBBER WHEEL STOP

SCALE: 1 1/2" = 1'-0"

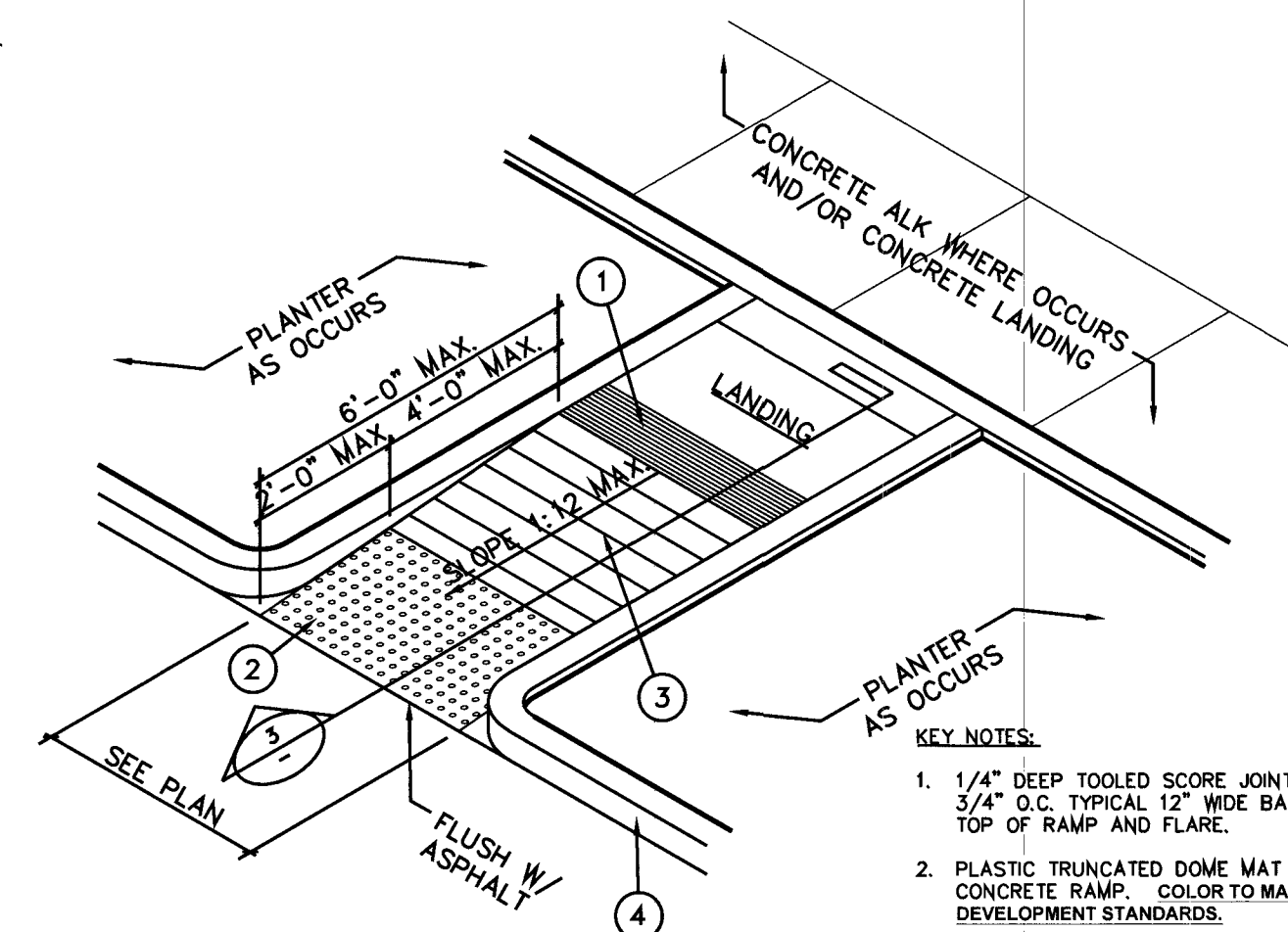
1. THE BOTTOM OF THE ACCESSIBLE SIGNS SHOULD BE NO LESS THAN 60 INCHES ABOVE FINISH GRADE OUTSIDE THE PATH OF TRAVEL / 80 INCHES ABOVE GRADE INSIDE PATH OF TRAVEL.
2. MOUNT SIGNS ON POSTS AND SHALL BE PROPERLY CENTERED WITHIN THE PARKING SPACES.
3. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHOWN WHITE ON 6" X 6" BLUE FIELD WITH 1/2" RADIUS CORNERS.
4. THE VAN ACCESSIBLE SIGN SHALL BE CENTERED UNDER THE ACCESSIBLE PARKING SIGN AS SHOWN.
5. CONTRACTOR TO CONFIRM FINE AMOUNT WITH LOCAL JURISDICTION AND PROVIDE APPROPRIATE SIGN LETTERING.



5 ACCESSIBLE & VAN ACCESSIBLE PARKING SIGNS

SCALE: 1-1/2" = 1'-0"

- KEY NOTES:**
1. PAINT BLUE (TRAFFIC)
 2. PAINT WHITE (FIGURE)
 3. PAINT WHITE (BORDER)



2 CONCRETE RAMP DETAIL

SCALE: $3/8" = 1'-0"$

- KEY NOTES:**
1. 1/4" DEEP TOOLED SCORE JOINTS AT 3/4" O.C. TYPICAL 12" WIDE BAND AT TOP OF RAMP AND FLARE.
 2. PLASTIC TRUNCATED DOME MAT ON CONCRETE RAMP. COLOR TO MATCH DEVELOPMENT STANDARDS.
 3. DETECTABLE WARNING ON CONCRETE RAMP CONSISTING OF MEDIUM BROOM NON-SLIP FINISH PERPENDICULAR TO THE SLOPE WITH SCORE JOINTS AT 1" O.C. PERPENDICULAR TO THE SLOPE.
 4. CURB WHERE OCCURS - REFER TO CIVIL DRAWINGS.

[illegible]

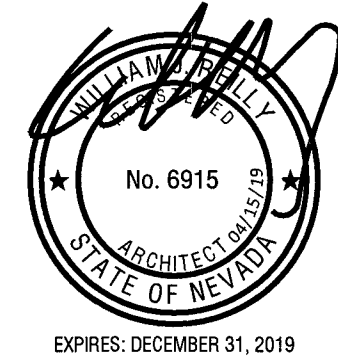
HWY 95 AND SKYE CANYON



NWC OF W SKY CANYON PARK DRIVE & GRAND CANYON DRIVE
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DRAWN JCG
DATE 4.JANUARY.2019
PROJECT 18105.00

SITE DETAILS

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