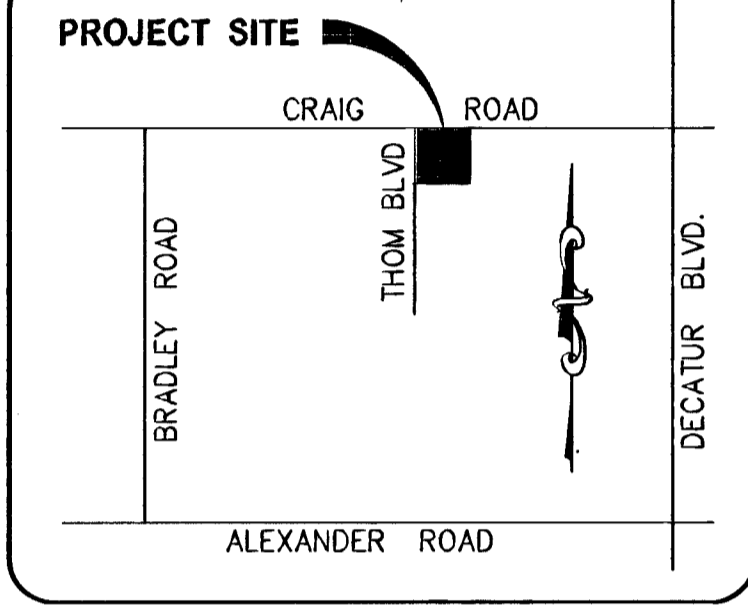


NDOT PERMIT REQUIREMENTS

CONTRACTOR IS RESPONSIBLE FOR ASCERTAINING WHETHER ANY OF HIS WORK IS WITHIN NDOT RIGHT-OF-WAY OR UNDER THE JURISDICTION OF NDOT, REGARDLESS OF THE PROXIMITY OF THE PROPOSED CONSTRUCTION OR INDICATED RIGHT-OF-WAY LINE.

IF ANY WORK IS NECESSARY WITHIN THE NDOT RIGHT-OF-WAY, THEN AN APPROVED NDOT OCCUPANCY PERMIT SHALL BE OBTAINED THROUGH THE DISTRICT, PRIOR TO ANY CONSTRUCTION WITHIN THE NDOT RIGHT-OF-WAY. PLANS SHOWING WORK IN THE NDOT RIGHT-OF-WAY MUST SHOW NDOT STATIONING. THE DEVELOPER ASSUMES ALL LIABILITY FOR WORK CONDUCTED UNDER ANY DISTRICT OBTAINED PERMIT THROUGH WARRANTY EXPIRATION.



VICINITY MAP
NO SCALE

CITY OF NORTH LAS VEGAS UTILITY DEPARTMENT DISCLAIMER

A STATEMENT OF UNDERSTANDING BETWEEN THE CITY OF NORTH LAS VEGAS UTILITY DEPARTMENT (CITY) AND ANY AND ALL SUBSEQUENT USERS OF INFORMATION OBTAINED HEREFROM:

THE PLANS AND SUPPORTING INFORMATION IS FURNISHED BY THE CITY, AND IS ACCEPTED/USED BY THE RECIPIENT WITH THE UNDERSTANDING THAT THE CITY MAKES NO WARRANTIES, EXPRESS OR SUITABILITY OF SAID PLANS OR ANY SUPPORTING DATA AND FURTHER UNDERSTANDS THAT ALL USERS ARE ACTING AT THEIR OWN RISK.

THE CITY SHALL BE UNDER NO LIABILITY WHATSOEVER RESULTING FROM ANY USE OF THIS INFORMATION. THIS INFORMATION SHOULD NOT BE RELIED UPON AS THE SOLE BASIS FOR EXISTING WATER AND/OR SEWER DIMENSIONS AND LOCATIONS OF EXISTING UTILITIES.

FUTURE USE LATERALS (1" THROUGH 2")

IF ANY OF THE SERVICE LATERALS TO BE INSTALLED FOR FUTURE LOTS ARE INCORRECTLY LOCATED OR ARE NOT USED FOR ANY REASON WHEN THE LOTS ARE DEVELOPED, THE DEVELOPER SHALL ABANDON THE LATERALS AT THE CONNECTION TO THE ACTIVE MAIN IN ACCORDANCE WITH THE AGENCY'S STANDARDS AT THE DEVELOPER'S EXPENSE. INSTALLATION OF SERVICE LATERALS 2 INCHES IN DIAMETER AND SMALLER FOR FUTURE LOTS SHALL INCLUDE THE SERVICE LATERAL WITH ALL FITTINGS PER AGENCY STANDARD PLATE NO. 1A OR 1C. THE AGENCY MAY LOCK THESE SERVICES TO PREVENT UNAUTHORIZED USE.

FIRE SERVICE AND DOMESTIC WATER, AS APPROVED ON THIS PLAN, ARE INTENDED SPECIFICALLY FOR THE LOT AND USE SHOWN, AND ARE NOT INTENDED TO SERVE ADDITIONAL PARCELS AND/OR LOTS.

IF THE PARCEL AND/OR LOTS SHOWN ON THIS PLAN ARE FURTHER DIVIDED TO CREATE ADDITIONAL PARCELS OR LOTS, THE OWNER IS REQUIRED TO PROVIDE SEPARATE FIRE AND DOMESTIC SERVICES TO EACH.

WATER METERING REQUIREMENTS FOR NEW DEVELOPMENTS

A) SEPARATE DOMESTIC AND FIRE SERVICES (WHERE APPLICABLE) ARE REQUIRED FOR EACH DWELLING UNIT, PUBLIC, QUASI-PUBLIC, COMMERCIAL AND/OR INDUSTRIAL OCCUPANCY LOCATED ON A SINGLE PARCEL OR LOT.

B) IN THE EVENT THAT A BUILDING WITHIN AN INDUSTRIAL OR COMMERCIAL SUBDIVISION IS DIVIDED, SEPARATE DOMESTIC SERVICES ARE REQUIRED FOR EACH UNIT.

C) EACH PARCEL OR LOT OF A COMMERCIAL OR RESIDENTIAL SUBDIVISION WILL HAVE A MINIMUM OF ONE (1) METERED DOMESTIC SERVICE. WHEN A FIRE SERVICE IS REQUIRED, EACH PARCEL OR LOT WILL HAVE A MINIMUM OF ONE (1) FIRE SERVICE. THE CITY, AT ITS OPTION, MAY ALLOW A COMMUNAL FIRE SERVICE PROVIDED THE PROPERTY OWNERS FIRST ESTABLISH A PROPERTY MANAGEMENT ASSOCIATION WHICH ACCEPTS RESPONSIBILITY FOR THE PAYMENT OF WATER BILLS AND THE MAINTENANCE AND OPERATIONS OF THE FIRE LINES AND BACKFLOW PREVENTION ASSEMBLY.

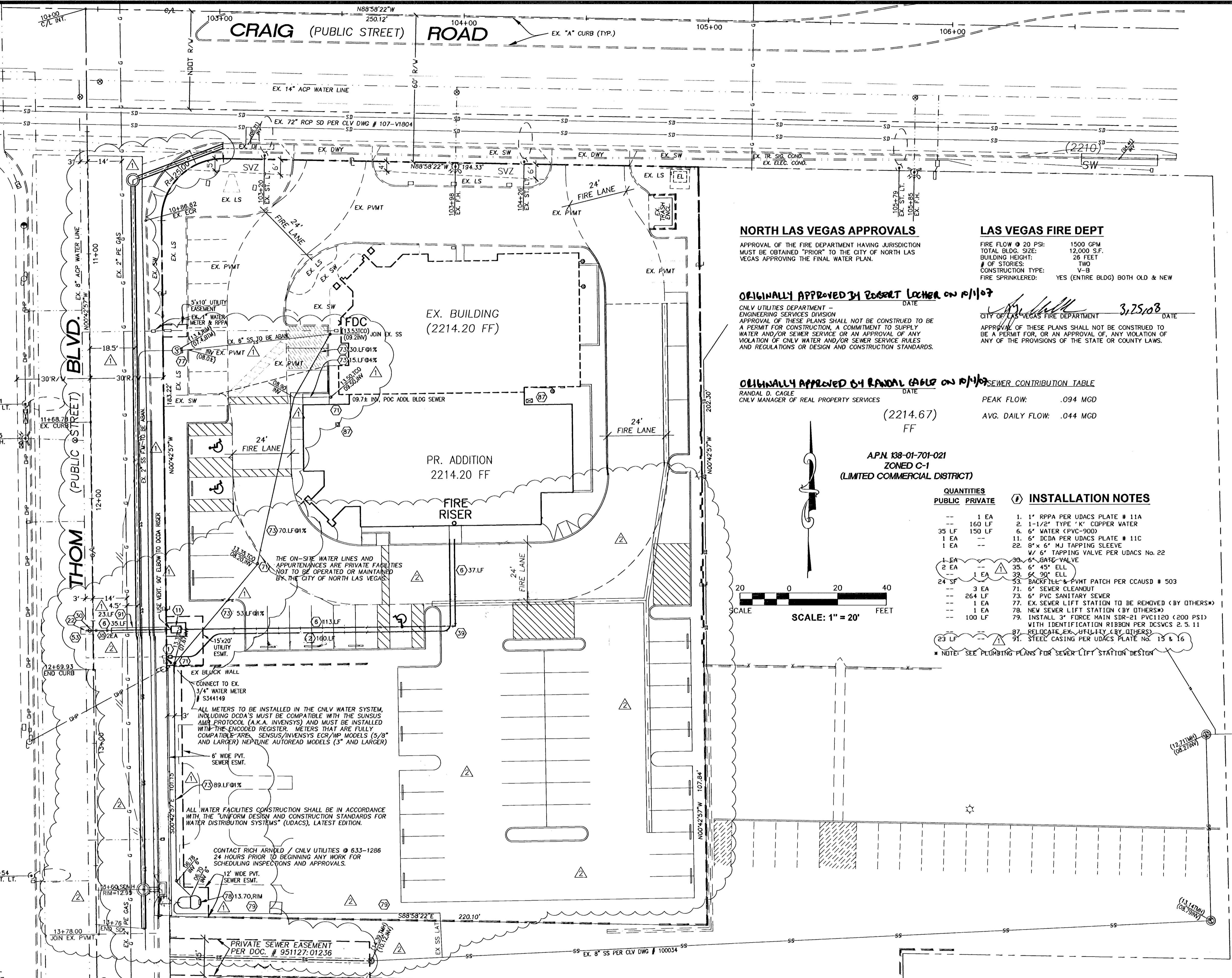
ABOVEGROUND UTILITY INSTALLATIONS

ALL ABOVEGROUND UTILITY INSTALLATIONS SHALL BE PLACED A MINIMUM OF THREE (3) FEET FROM THE BACK OF SIDEWALK IN CONFORMANCE WITH TITLE 19.12.040

Call Before You Dig
1-800-227-2600
AVOID DAMAGING UTILITY LINES. IT'S COSTLY

Call Before You Dig
1-702-227-2929
AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY

Call Before You Dig
1-702-454-7511
1-702-229-6611
Underground



CAUTION REGARDING EXISTING UTILITIES:
THE BELIEVED LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON AVAILABLE RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT SHOWN, OR SHOWN INCORRECTLY ON THESE PLANS. CONTRACTOR SHALL DETERMINE BY EXPLORATORY MEANS THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTE THAT SOME WATER AND GAS MAINS AND LATERALS MAY REQUIRE RELOCATING VERTICALLY IN ORDER TO PROVIDE PROPER CLEARANCE FROM THE PROPOSED STORM DRAIN FACILITIES.

BASIS OF BEARINGS
NORTH 88°58'22" WEST BEING THE NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SE 1/4) OF SECTION 01, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA AS SHOWN ON PARCEL MAP FILE 16, PAGE 47, OF OFFICIAL RECORDS ON FILE IN THE CLARK COUNTY, NEVADA RECORDERS OFFICE.

BENCHMARK
CITY OF LAS VEGAS VERTICAL CONTROL (#2002) NO. 8LV00 1E6W
BEING A RIVET AND PLATE IN THE TOP OF CURB AT THE SOUTHWEST CORNER OF CRAIG AND LAKE TAHOE STREET.
ELEVATION - 675.2962 (METERS) / 2215.53 (U.S. SURVEY FEET)
NORTH AMERICAN VERTICAL DATUM OF 1988

NORTH LAS VEGAS APPROVALS

APPROVAL OF THE FIRE DEPARTMENT HAVING JURISDICTION MUST BE OBTAINED "PRIOR" TO THE CITY OF NORTH LAS VEGAS APPROVING THE FINAL WATER PLAN.

ORIGINALLY APPROVED BY ROBERT LOCHER ON 8/1/07

DATE: 8/1/07
ONLY UTILITIES DEPARTMENT - ENGINEERING SERVICES DIVISION
APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR CONSTRUCTION, A COMMITMENT TO SUPPLY WATER AND/OR SEWER SERVICE OR AN APPROVAL OF ANY VIOLATION OF ONLY WATER AND/OR SEWER SERVICE RULES AND REGULATIONS OR DESIGN AND CONSTRUCTION STANDARDS.

ORIGINALLY APPROVED BY RANDAL CAGLE ON 8/1/07

DATE: 8/1/07
RANDAL D. CAGLE
ONLY MANAGER OF REAL PROPERTY SERVICES

LAS VEGAS FIRE DEPT

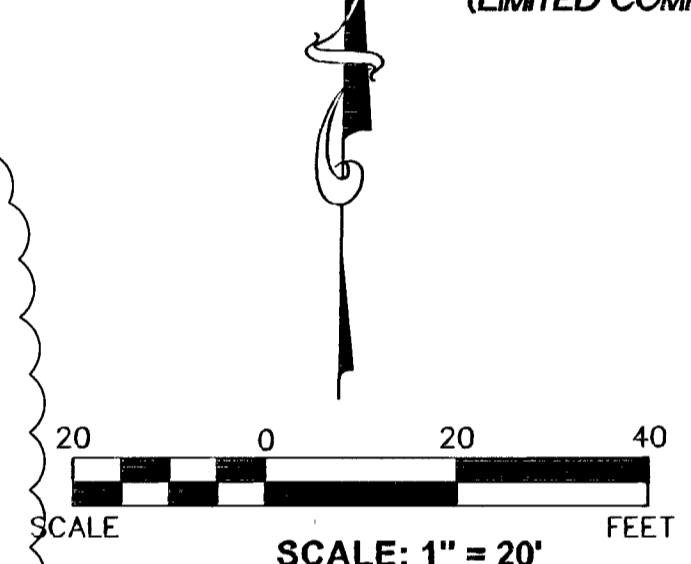
FIRE FLOW @ 20 PSI: 1500 GPM
TOTAL BLDG. SIZE: 12,000 SF
BUILDING HEIGHT: 26 FEET
OF STORIES: TWO
CONSTRUCTION TYPE: V-B
FIRE SPRINKLERED: YES (ENTIRE BLDG) BOTH OLD & NEW

CITY OF LAS VEGAS FIRE DEPARTMENT
DATE: 3/25/08

APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS.

SEWER CONTRIBUTION TABLE
PEAK FLOW: .094 MGD
AVG. DAILY FLOW: .044 MGD
(2214.67) FF

APN 138-01-701-021
ZONED C-1
(LIMITED COMMERCIAL DISTRICT)



QUANTITIES		INSTALLATION NOTES
PUBLIC	PRIVATE	
1 EA	1 EA	1. 1" RPPA PER UDACS PLATE # 11A
160 LF	160 LF	2. 1-1/2" TYPE "K" COPPER WATER
35 LF	150 LF	3. 6" WATER (PVC-900)
1 EA	1 EA	4. 6" DCDA PER UDACS PLATE # 11C
1 EA	1 EA	5. 8" x 6" MJ TAPPING SLEEVE
1 EA	1 EA	6. 8" x 6" GATE VALVE
2 EA	1 EA	7. 6" 45° ELL
24 SF	1 EA	8. 30" 45° ELL
3 EA	1 EA	9. BACKFILL & PVT PATCH PER CCAUSD # 503
264 LF	1 EA	10. 6" SEWER CLEANOUT
1 EA	1 EA	11. 6" PVC SANITARY SEWER
100 LF	1 EA	12. EX. SEWER LIFT STATION TO BE REMOVED (BY OTHERS)
23 LF	1 EA	13. NEW SEWER LIFT STATION (BY OTHERS)
		14. INSTALL 3" FORCE MAIN SUR-21 PVC1120 (200 PSI) WITH IDENTIFICATION RIBBON PER DCSVES 2.5.11
		15. RELOCATE EX. UTILITY (BY OTHERS)
		16. STEEL CASING PER UDACS PLATE NO. 15 & 16

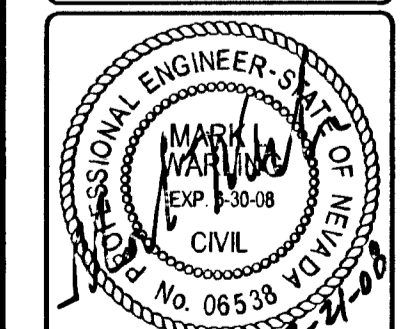
* NOTE: SEE PLUMBING PLANS FOR SEWER LIFT STATION DESIGN

EXTEND STREET IMPRVANTS-EXPAND	MLW	15/7/08
PARKING SLY, DELETE OFFSITE SEWER	MLW	8/2/08
ADD WATERLINE CASING AT SD	MLW	8/2/08
REV SD, SS & LIFT STA LOC.	MLW	4/16/08

DRAWN BY: MARK WARLING

SITE UTILITY AND STREET LIGHTING
CRAIG ROAD ANIMAL HOSPITAL
5051 W. CRAIG ROAD
DR. KURT & DEBORAH MYCHAJLONKA
CITY OF LAS VEGAS

WARLING ENGINEERING
MARK WARLING, PE
9001 W. SAVANNAH AVE #402-LS
LAS VEGAS, NV 89117
PH: (702) 869-6275 • FAX: (702) 869-6275
EMAIL: CIVIL@CWENET



DWG: 101V2382-EXP
DATE: MARCH, 2008
SHEET C3 OF 6

REPLUT