

LEGEND

	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EASEMENT LINE
	EXISTING EASEMENT LINE
	PRIVATE STREET
	SECTIONAL SUBDIVISION LINE
	BUILDING ENVELOPE LINE
	BUILDING (EXTERIOR) OUTLINE
	BUILDING (INTERIOR) OUTLINE
	FOUND PUBLIC LAND CORNER
	FOUND MONUMENT AS DESCRIBED
	MONUMENT NOT FOUND
	SET TYPE III MONUMENT "PLS 7808" WITH REFERENCES
	SET 5/8" REBAR/ALCAP- "PLS 7808"
	LINE SEGMENT DATA
	CURVE SEGMENT DATA
	SQUARE FEET
	ASSESSOR'S PARCEL NUMBER
	LIMITED COMMON ELEMENT
	SIGHT VISIBILITY RESTRICTION ZONE TO BE PRIVATELY MAINTAINED. SEE NOTE 6 GRANTED PER THIS MAP
	BUILDING NUMBER
	BUILDING TYPE
	NUMBER OF FLOORS
	UNIT TYPE
	REVERSE
	GARAGE NUMBER
	GARAGE TYPE

FINAL MAP OF THE BOULDERS

"A CONDOMINIUM DEVELOPMENT"

A SUBDIVISION OF GOV'T LOTS 23, 25, 26 & 31 SITUATE IN A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 7, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

NOTES:

1) PURSUANT TO NRS 278.371 ALL REAR LOT CORNERS SHALL BE SET WITH A NAIL AND TAG "PLS 7808" ON BLOCK WALLS AND ALL FRONT OR SIDE LOT CORNERS ADJOINING RIGHTS-OF-WAY SHALL BE MARKED BY THE SAW CUTTING OF THE BACK OF CURBS ON THE PROLONGATION OF THE PROPERTY LINES.

2) ALL ON-SITE STREETS ARE PRIVATE STREETS. PUBLIC UTILITY EASEMENTS, PUBLIC SEWER EASEMENTS, AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED.

3) THE COMMON LOT OF THIS CONDOMINIUM PLAN IS THE LAND AND REAL PROPERTY INCLUDED WITHIN THE LIMITS OF THE PROJECT AS DEFINED HEREON, EXCEPTING THEREFROM THE UNITS SHOWN HEREON AND DEFINED IN THE DECLARATION AS PROVIDED IN N.R.S. 116.2105

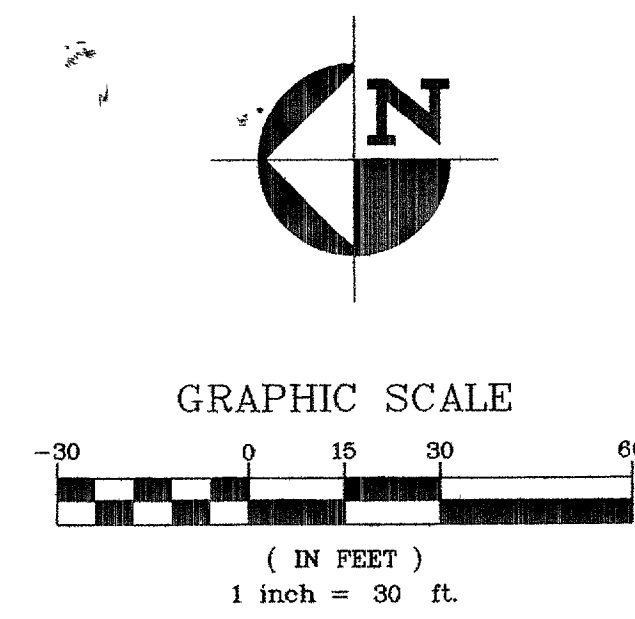
4) THERE ARE 388 UNITS AND 01 COMMON LOT IN THIS CONDOMINIUM CONVERSION.

5) ALL AREAS NOT OCCUPIED BY A BUILDING IS A PUBLIC DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED.

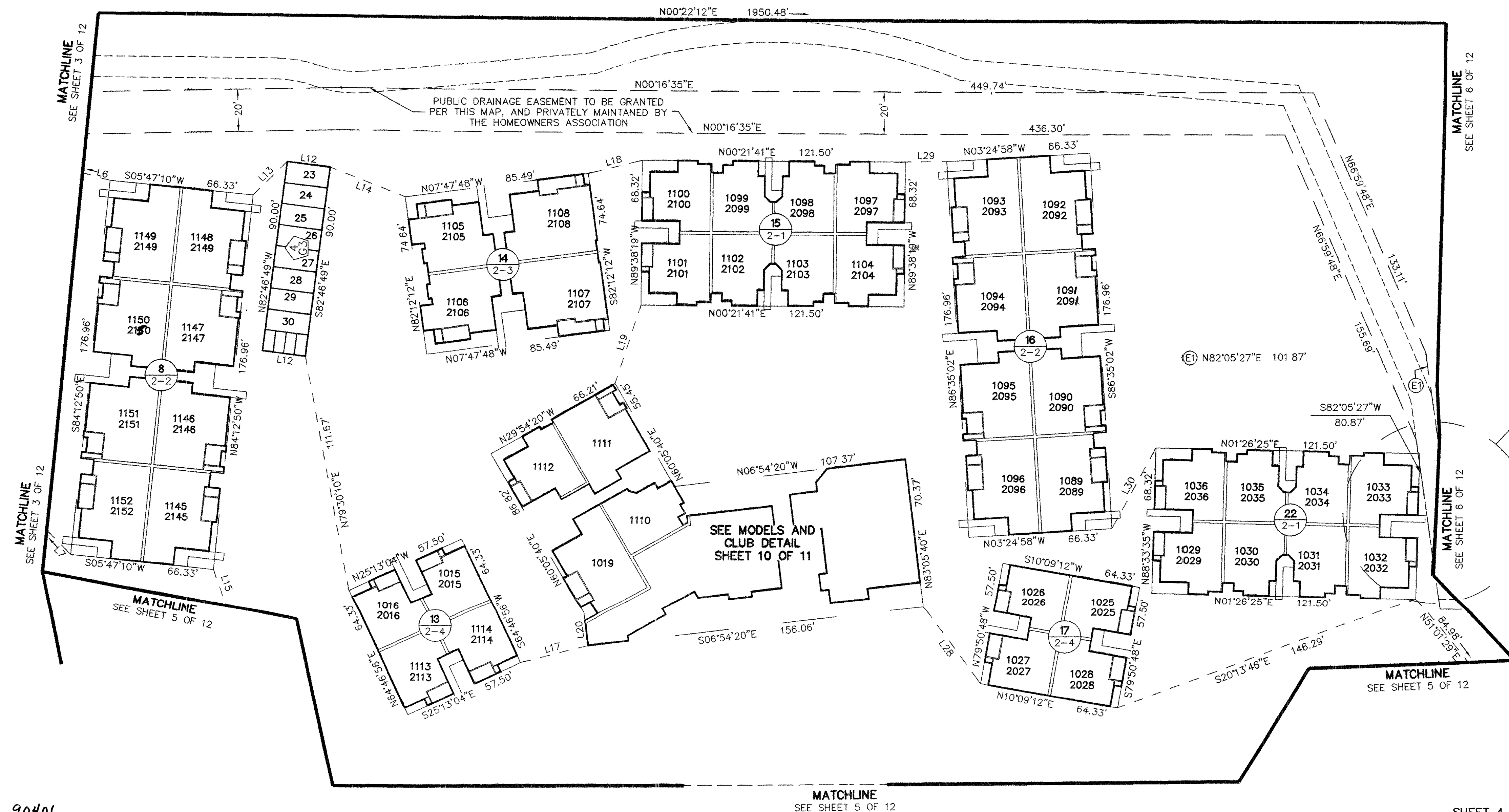
6) NO STRUCTURE, VEGETATION, OR OBJECT OF ANY KIND IS PERMITTED OVER TWENTY-FOUR (24) INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB IF A CURB EXISTS. IF NO CURB EXISTS, THE MEASUREMENT WILL BE FROM THE ADJACENT RIDING SURFACE OF THE ROADWAY. TRAFFIC CONTROL DEVICES, THEIR RELATED APPURTENANCES AND STREET LIGHTS ILLUMINATING PUBLIC STREETS MAY BE PLACED WITHIN THE SIGHT ZONES. SEE DETAILS SHEET 12 OF 12.

VISIBILITY RESTRICTION

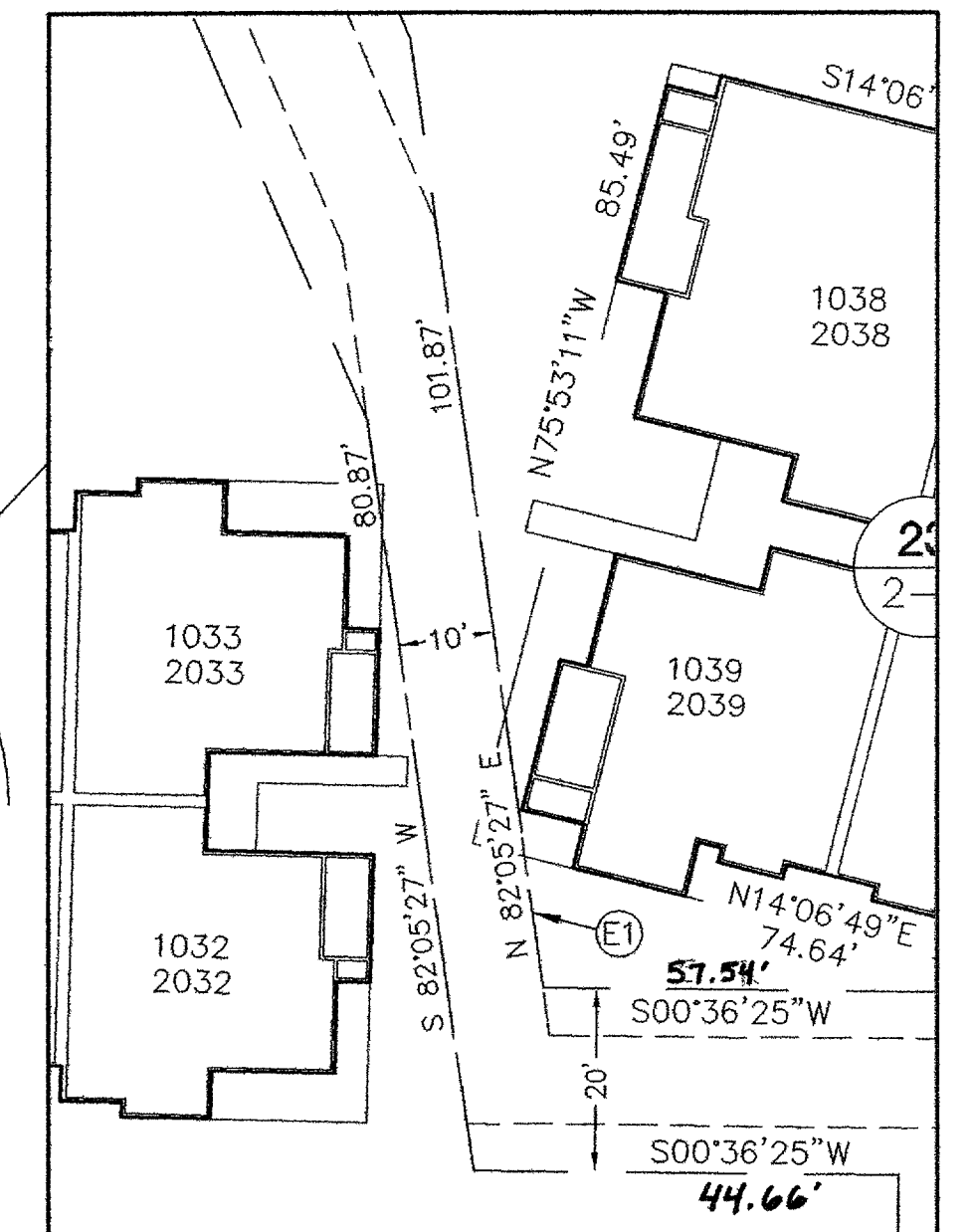
APN 138-07-301-014
NOT A PART



LINE	DIRECTION	DISTANCE
L1	N88°03'37"W	20.00'
L2	S76°30'28"E	17.39'
L3	N30°08'46"E	29.27'
L4	N87°36'19"E	20.00'
L5	S00°50'43"W	20.00'
L6	S14°48'54"W	32.00'
L7	N45°14'26"E	25.78'
L8	N67°46'08"W	20.50'
L9	S24°29'48"W	30.59'
L10	S78°26'18"E	41.09'
L11	S81°59'03"E	23.48'
L12	S07°13'11"W	20.00'
L13	N45°31'55"W	22.52'
L14	S21°54'17"W	37.17'
L15	N71°09'02"E	30.70'
L16	N52°06'43"E	35.85'
L17	S13°56'53"E	32.05'
L18	S14°07'49"E	25.80'
L19	N72°04'00"W	38.88'
L20	S83°05'40"W	15.63'
L21	S21°55'11"E	36.27'
L22	S01°40'43"E	20.00'
L23	N10°04'39"W	10.14'
L24	N26°04'35"W	12.75'
L25	S85°56'31"E	27.10'
L26	S22°00'47"W	15.57'
L27	S49°44'05"E	34.84'
L28	N53°24'57"E	44.47'
L29	S00°30'37"E	19.19'
L30	S61°54'29"E	42.90'
L31	N68°34'42"E	26.48'
L32	N89°21'41"W	20.00'
L33	N41°43'00"W	35.82'
L34	N02°36'26"E	21.92'
L35	N83°30'51"W	20.00'
L36	S67°08'43"E	17.47'
L37	N67°48'28"E	24.70'
L38	S16°53'04"W	13.18'
L39	S02°17'59"E	38.67'
L40	S61°23'18"E	42.53'
L41	N46°11'33"E	43.90'
L42	S08°58'42"E	20.00'
L43	N22°39'31"E	31.38'
L44	S88°06'31"E	40.98'
L45	S09°37'00"W	43.46'



DETAIL "A"



90406

MATCHLINE
SEE SHEET 5 OF 12

SHEET 4 of 12



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