

BASIS OF BEARING

NORTH 51°53'13" EAST, BEING THE BEARING BETWEEN G. C. WALLACE CONTROL MONUMENT No. 194 AND G. C. WALLACE CONTROL MONUMENT No. 204 (BRUTUS) SITUATE IN SECTION 25, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE CLARK COUNTY RECORDER IN FILE 85 OF SURVEYS, AT PAGE 17.

BENCHMARK

G. C. WALLACE CONTROL MONUMENT No. 204 (BRUTUS)
A 2" BRASS CAP IN CONCRETE STAMPED "BRUTUS" PER
FILE 85 OF SURVEYS, AT PAGE 17.

ELEVATION = 3000.64 (SUMMERLIN DATUM) * DATUM USED

TO OBTAIN NAVD'88 DATUM FROM SUMMERLIN DATUM, ADD 2.2'
PER FILE 85, PAGE 17 OF SURVEYS.

EQUATION = 915.267 METERS (COMPUTED NAVD'88)

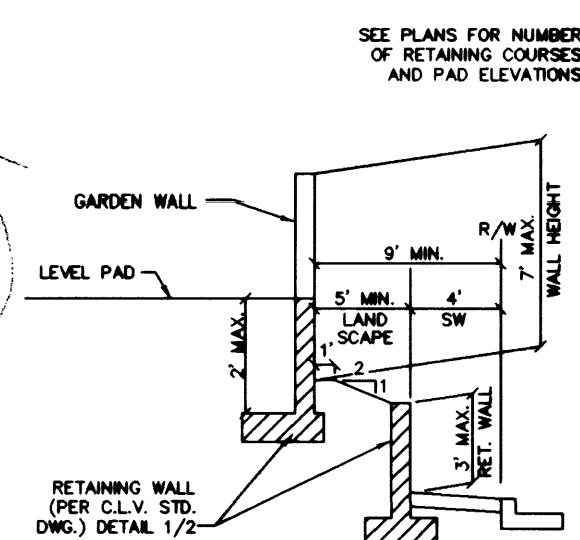
EQUATION = 3002.84 FEET (COMPUTED NAVD'88)

I CERTIFY THAT THIS GRADING PLAN IS IN
CONFORMANCE WITH THE APPROVED DRAINAGE
STUDY ON FILE AT THE CITY OF LAS VEGAS
FOR THIS PROJECT.

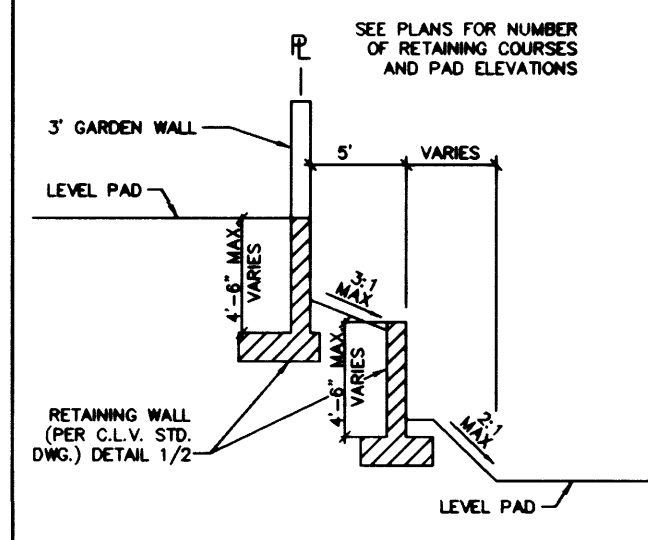
Kelly M. Miller 5/21/97 DATE
KELLY M. MILLER, P.E.
R.E. #10625

GRADING NOTES

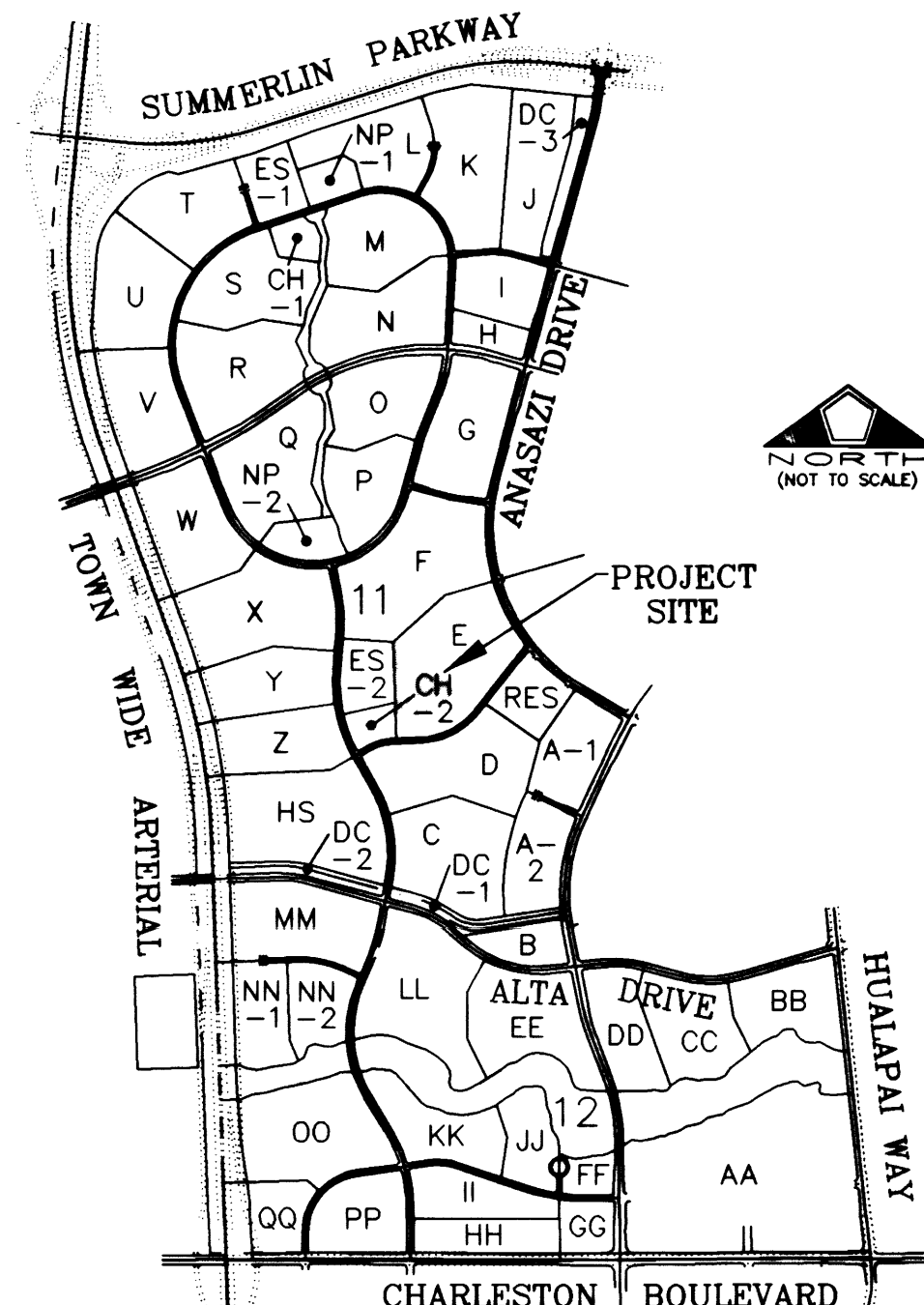
- ALL PROPOSED PAD ELEVATIONS AND SWALE ELEVATIONS ARE ROUGH GRADES. ALL OTHER PROPOSED ELEVATIONS ARE FINISHED GRADES.
- THE GRADING PLANS SHALL BE AT THE PROJECT SITE THROUGHOUT THE COURSE OF CONSTRUCTION.
- ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE LINES, GRADES AND DETAILS AS SHOWN ON THESE PLANS. ANY DEVIATION FROM THESE PLANS WILL ONLY BE PERMITTED UPON WRITTEN APPROVAL FROM THE ENGINEER.
- ALL PADS ARE TO BE GRADED WITHIN 0.1' OF THE ELEVATIONS AS SHOWN ON THE PLANS. GRADING IS NOT COMPLETE UNTIL THE ENGINEER HAS CERTIFIED THAT THE PADS HAVE BEEN GRADED IN SUBSTANTIAL CONFORMANCE TO THE PLANS.
- ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING REPORT PREPARED BY: TERRACON - DATED 10/2/95
PROJECT NO. 64955202



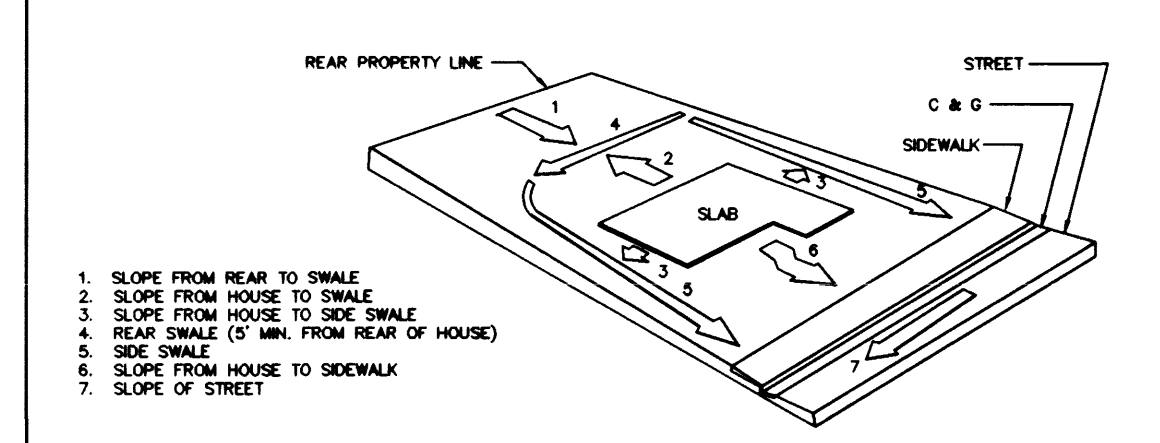
CORNER SIDE YARD SECTION
(NOT TO SCALE)



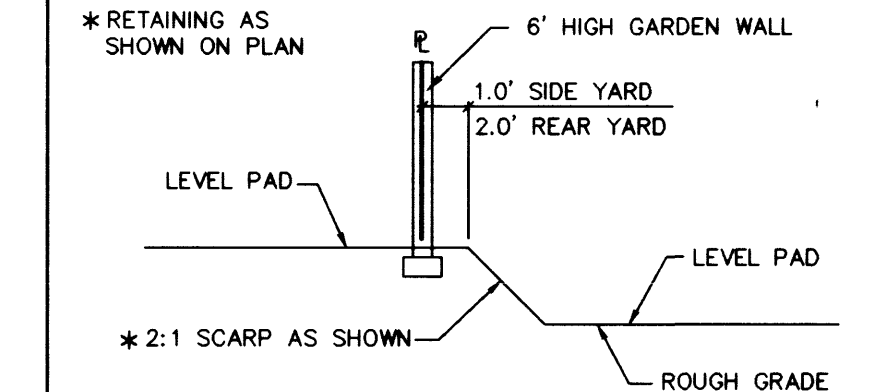
REAR YARD SECTION
(NOT TO SCALE)



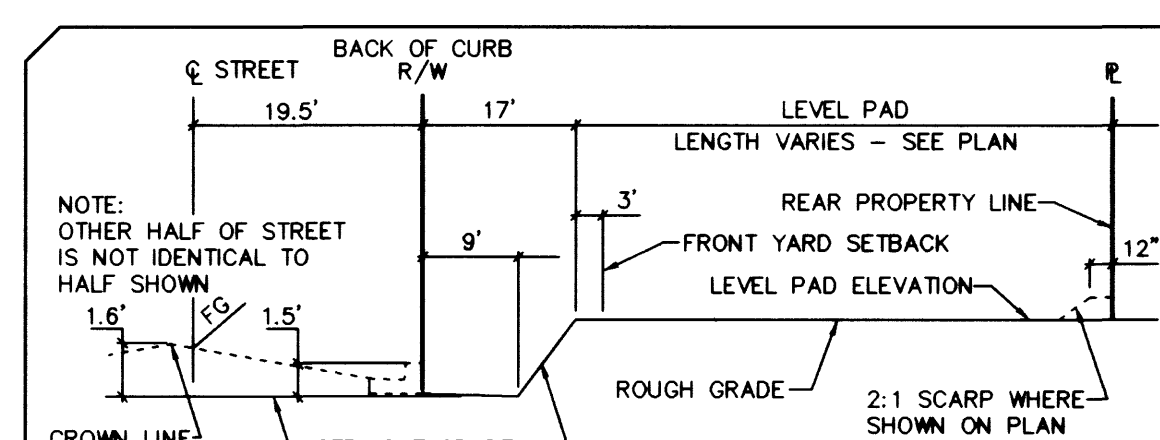
VICINITY MAP



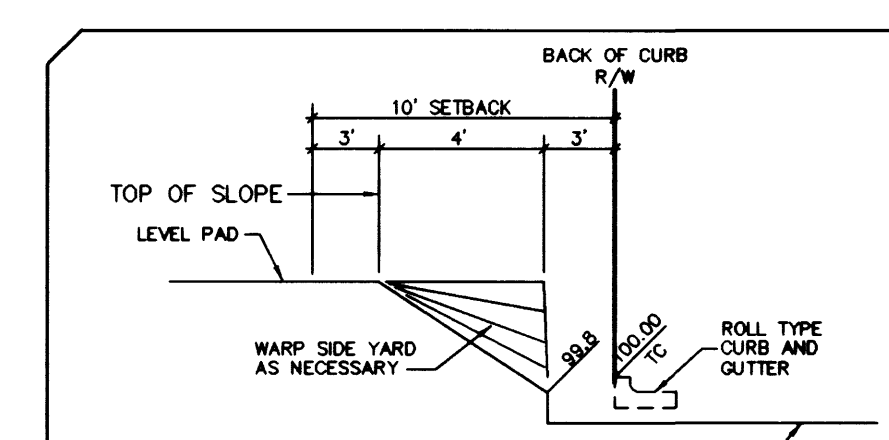
TYPICAL LOT GRADING - TYPE "A" DRAINAGE
FINISHED GRADE DETAIL



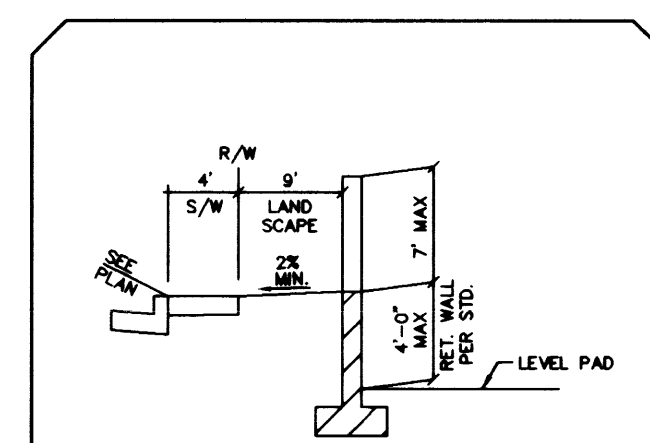
SIDE & REAR YARD SECTION
(NOT TO SCALE)



TYPICAL 39' STREET SECTION
ROUGH GRADE SECTION



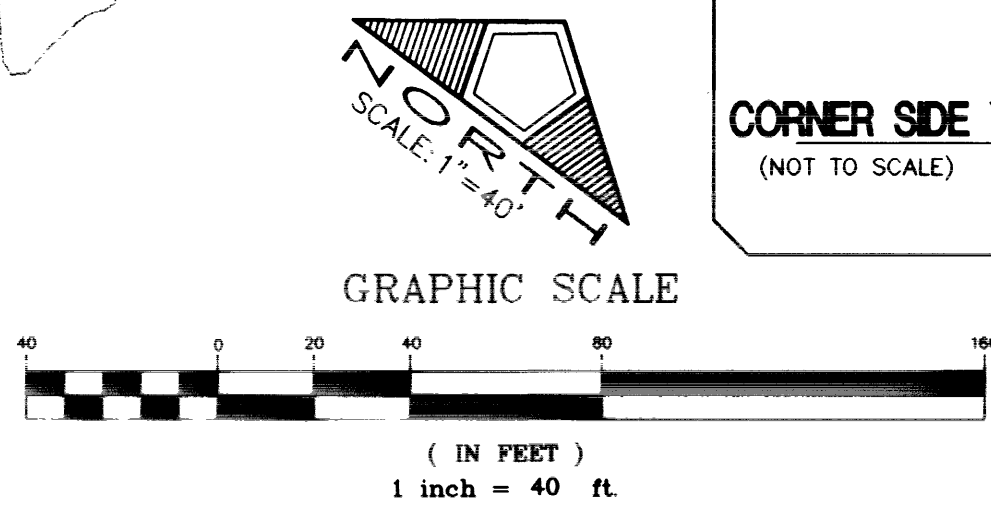
TYPICAL CORNER LOT
ROUGH GRADE SECTION



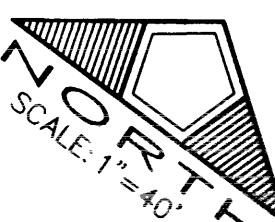
CORNER SIDE YARD SECTION
(NOT TO SCALE)

LEGEND

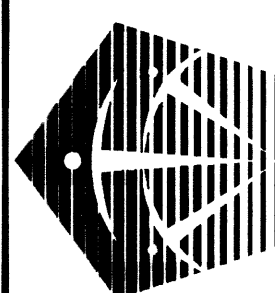
FL	FLOW LINE	1381	LOT NUMBER
FG	FINISHED GRADE	FF=22.1	PROPOSED FINISH FLOOR
FG-TB	FINISHED GRADE/TOP OF BERM	(21.1)	PROPOSED PAD ELEVATION
TC	TOP OF CURB	(21.5)	FUTURE PAD ELEVATION
	SWALE	(17.5)	EXISTING PAD ELEVATION
	GRADE BREAK		EXISTING CONTOUR 5
	2:1 SCARP		EXISTING ELEVATION
	BUILDING SETBACK	(98.63)	PROPOSED ELEVATION
	TOP OF SLOPE, FRONT AND SIDE YARD	98.63	FUTURE ELEVATION
	FUTURE IMPROVEMENTS	[98.63]	HIGH POINT OF SWALE
	EXISTING IMPROVEMENTS		STREET CENTERLINE
	RETAINING WALL		COURSES OF 8" CMU
	EDGE OF EXISTING ASPHALT		NUMBER OF COURSES
	SUBDIVISION BOUNDARY		
	BLOCK NUMBER		



MATCHLINE SHEET 9



PENTACORE



LEWIS HOMES OF NEVADA
CHARDONNAY No. 53

GRADING PLAN

8
OF 9

107Y-4512-53