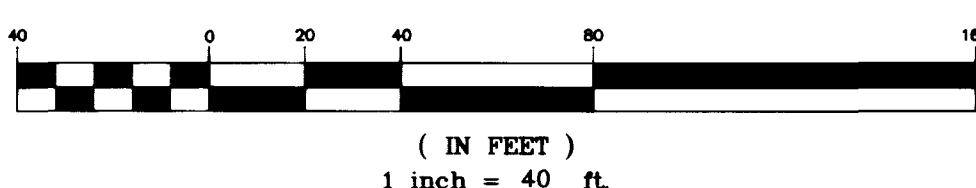
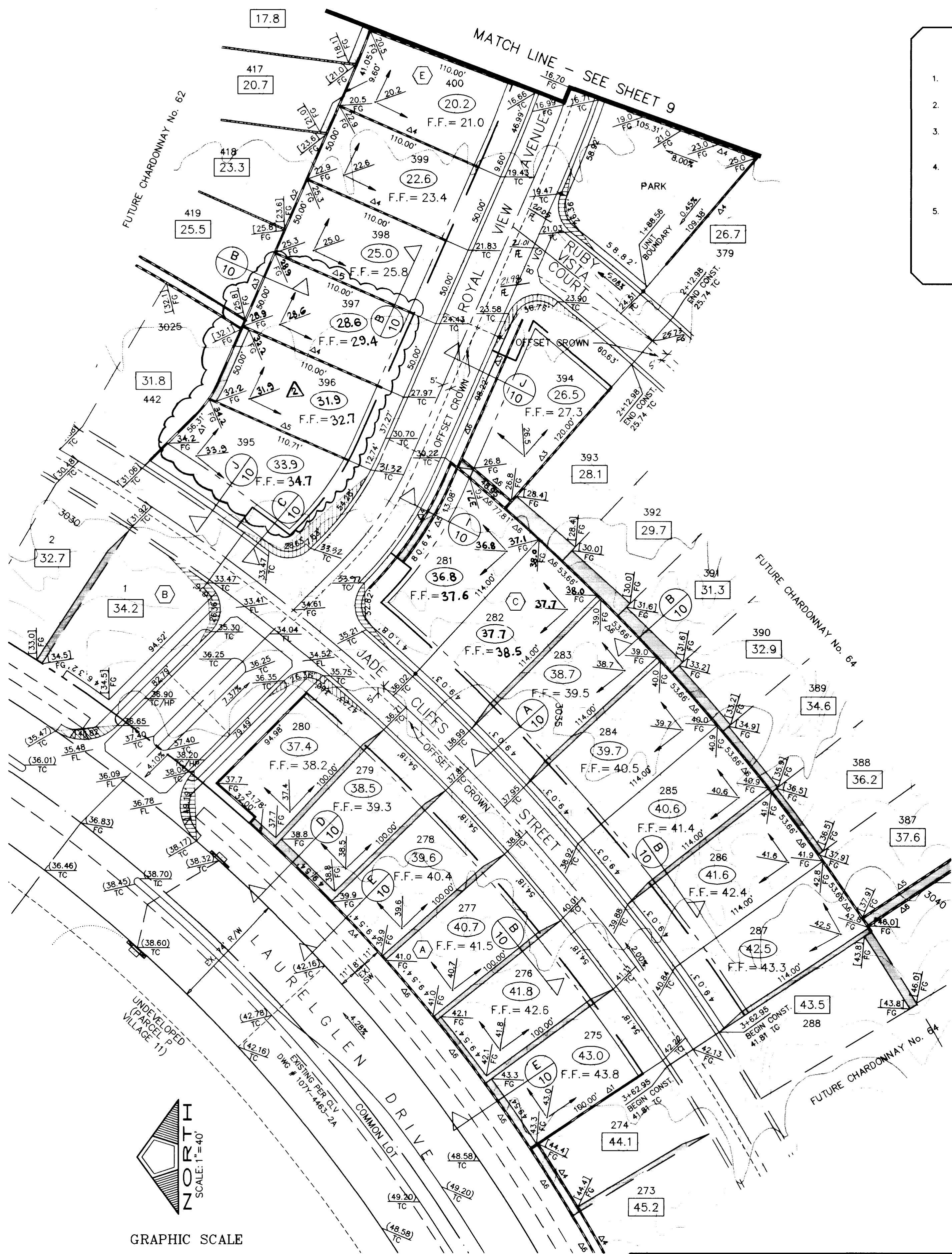


Q:\0030\1611\CHART-CP Tue Jan 21 10:03:25 1997 P.D.O.

CHART-CP



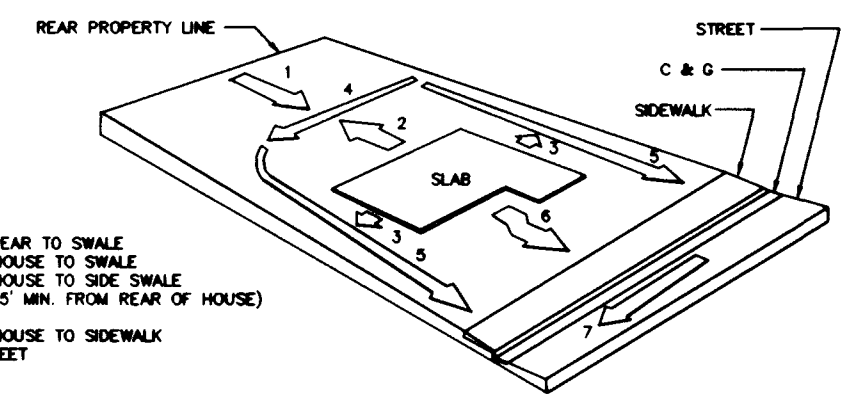
GRADING NOTES

1. ALL PROPOSED PAD ELEVATIONS AND SWALE ELEVATIONS ARE ROUGH GRADES. ALL OTHER PROPOSED ELEVATIONS ARE FINISHED GRADES.
2. THE GRADING PLANS SHALL BE AT THE PROJECT SITE THROUGHOUT THE COURSE OF CONSTRUCTION.
3. ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE LINES, GRADES AND DETAILS AS SHOWN ON THESE PLANS. ANY DEVIATION FROM THESE PLANS WILL ONLY BE PERMITTED UPON WRITTEN APPROVAL FROM THE ENGINEER.
4. ALL PADS ARE TO BE GRADED WITHIN 0.1' OF THE ELEVATIONS AS SHOWN ON THE PLANS. GRADING IS NOT COMPLETE UNTIL THE ENGINEER HAS CERTIFIED THAT THE PADS HAVE BEEN GRADED IN SUBSTANTIAL CONFORMANCE TO THE PLANS.
5. ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING REPORT PREPARED BY: **TEZELCON** DATE: 10/2/95 PREP: 64755202

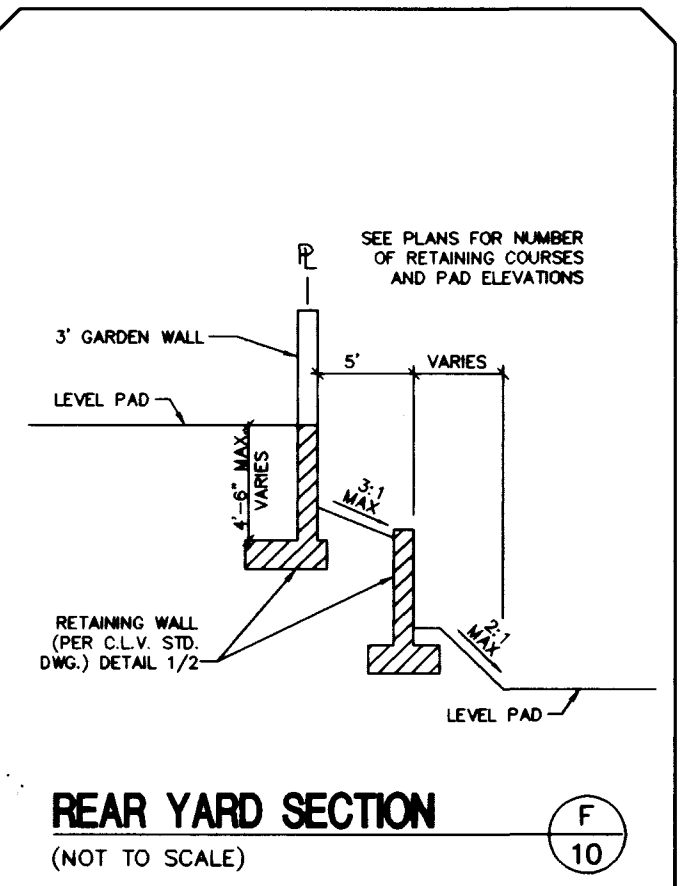
I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

Kelly J. Winter, P.E. 3/1/97 DATE
R.E. #10625

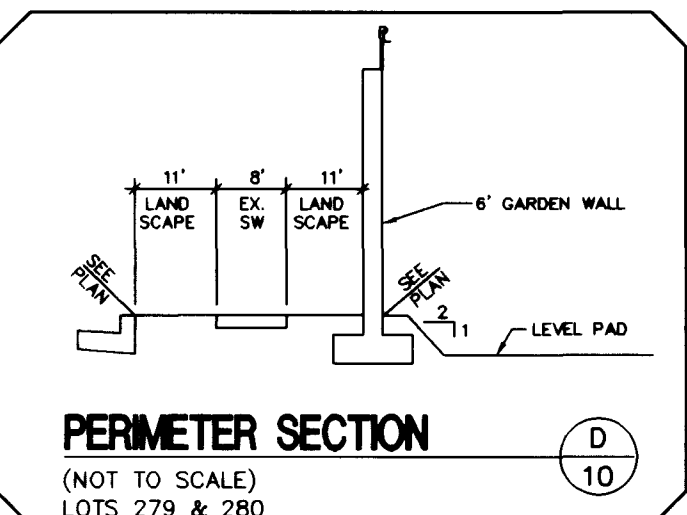
*NOTE:
ALL FILL MATERIAL, GRADING AND RETAINING WALLS NECESSARY WITHIN SUMMERLIN'S HOA COMMON LOT AS A RESULT OF THIS DEVELOPER'S PROPOSED GRADES IS THIS PARCEL DEVELOPER'S COSTS.



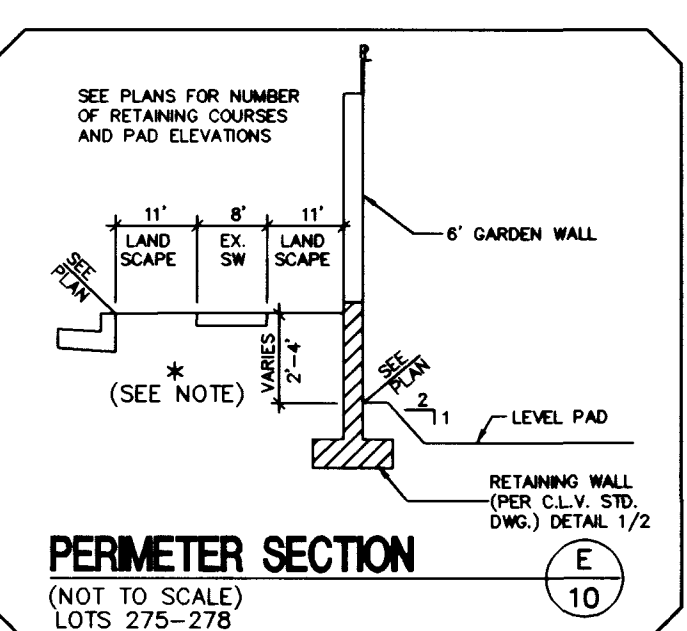
TYPICAL LOT GRADING - TYPE 'A' DRAINAGE FINISHED GRADE DETAIL
(NOT TO SCALE)



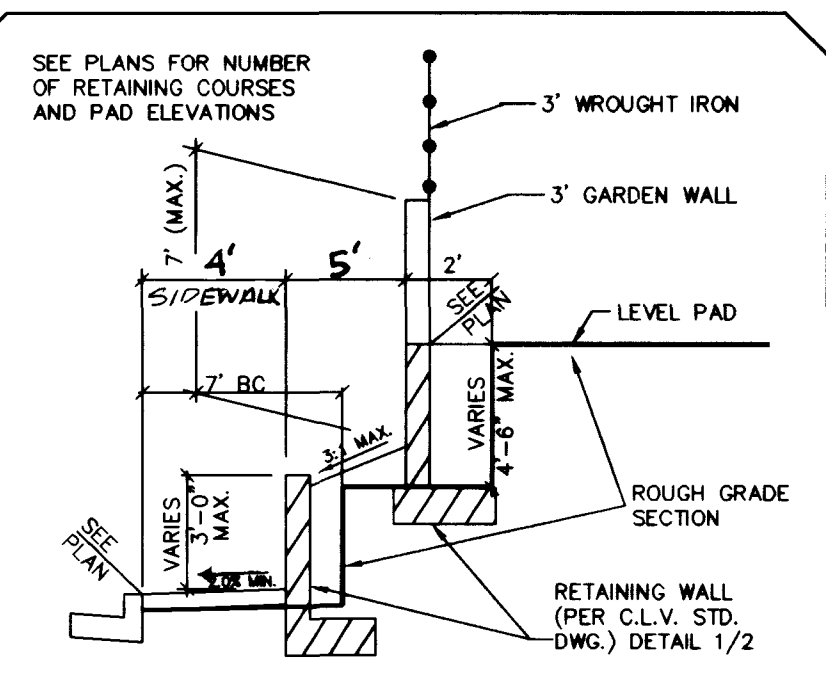
REAR YARD SECTION
(NOT TO SCALE)



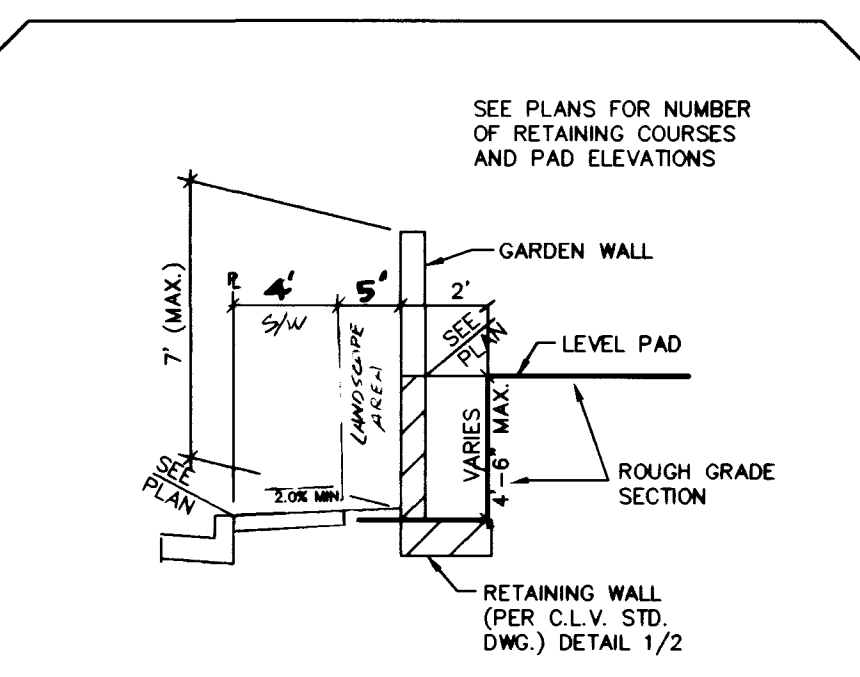
PERIMETER SECTION
(NOT TO SCALE)
LOTS 279 & 280



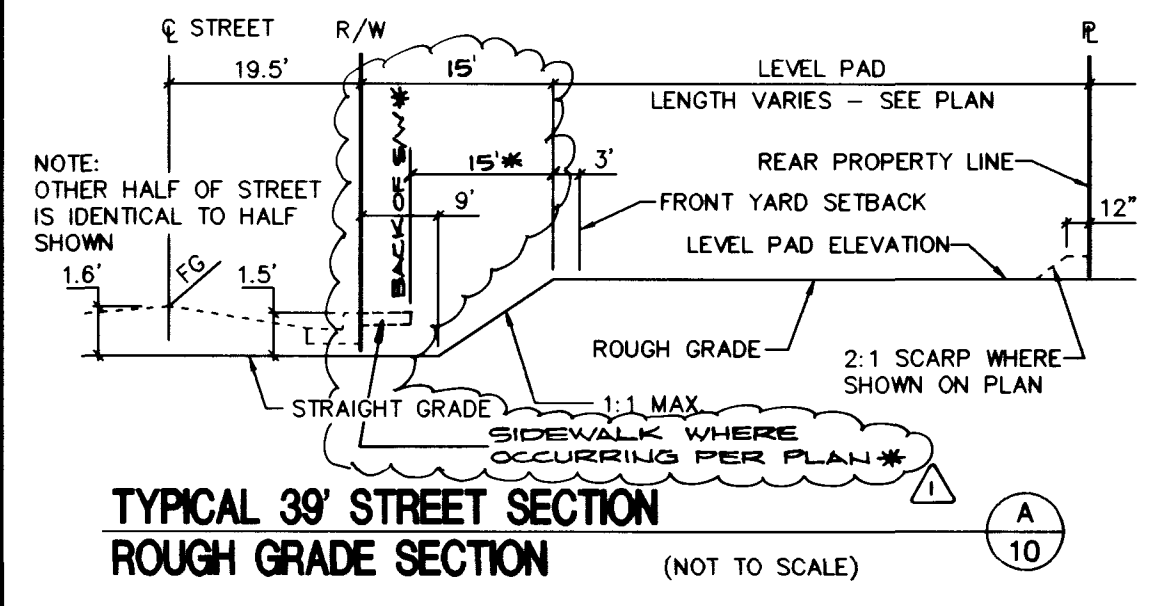
PERIMETER SECTION
(NOT TO SCALE)
LOTS 275-278



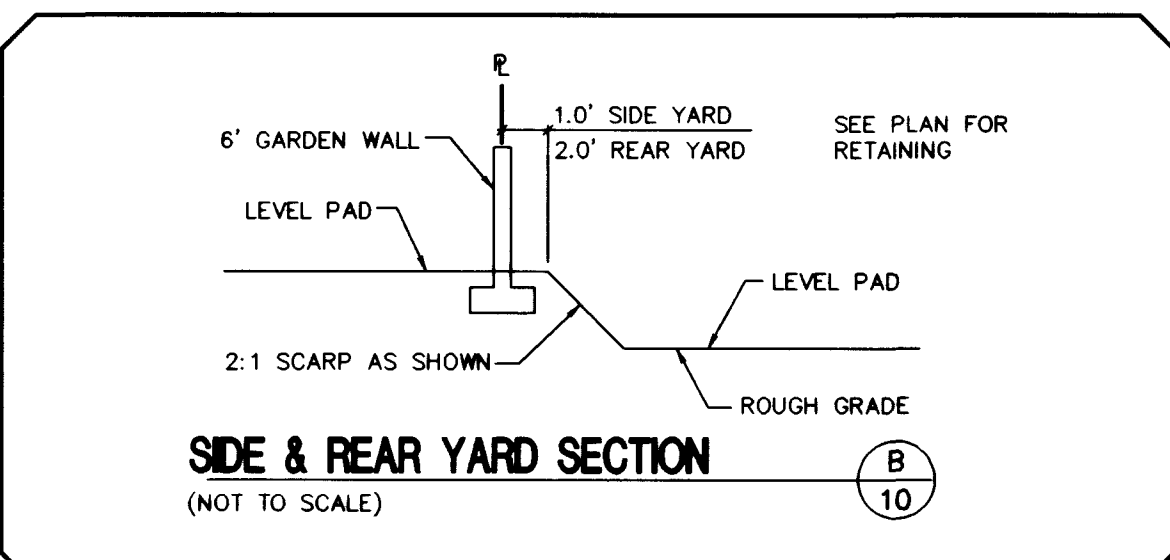
CORNER SIDE YARD SECTION
(NOT TO SCALE)



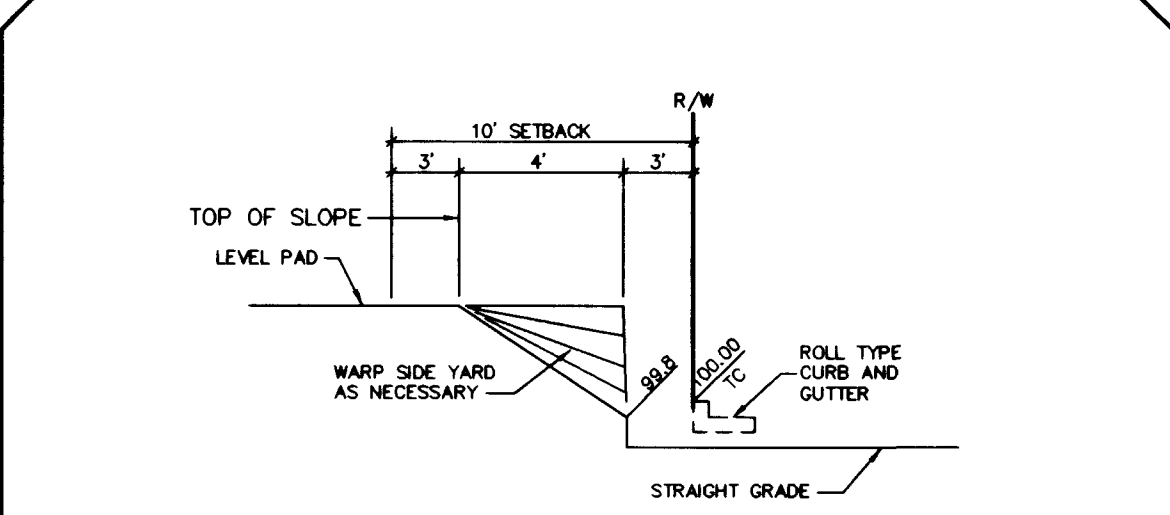
CORNER SIDE YARD SECTION
(NOT TO SCALE)
LOTS 394



TYPICAL 39' STREET SECTION ROUGH GRADE SECTION
(NOT TO SCALE)



SIDE & REAR YARD SECTION
(NOT TO SCALE)



TYPICAL CORNER LOT ROUGH GRADE SECTION
(NOT TO SCALE)

LEGEND

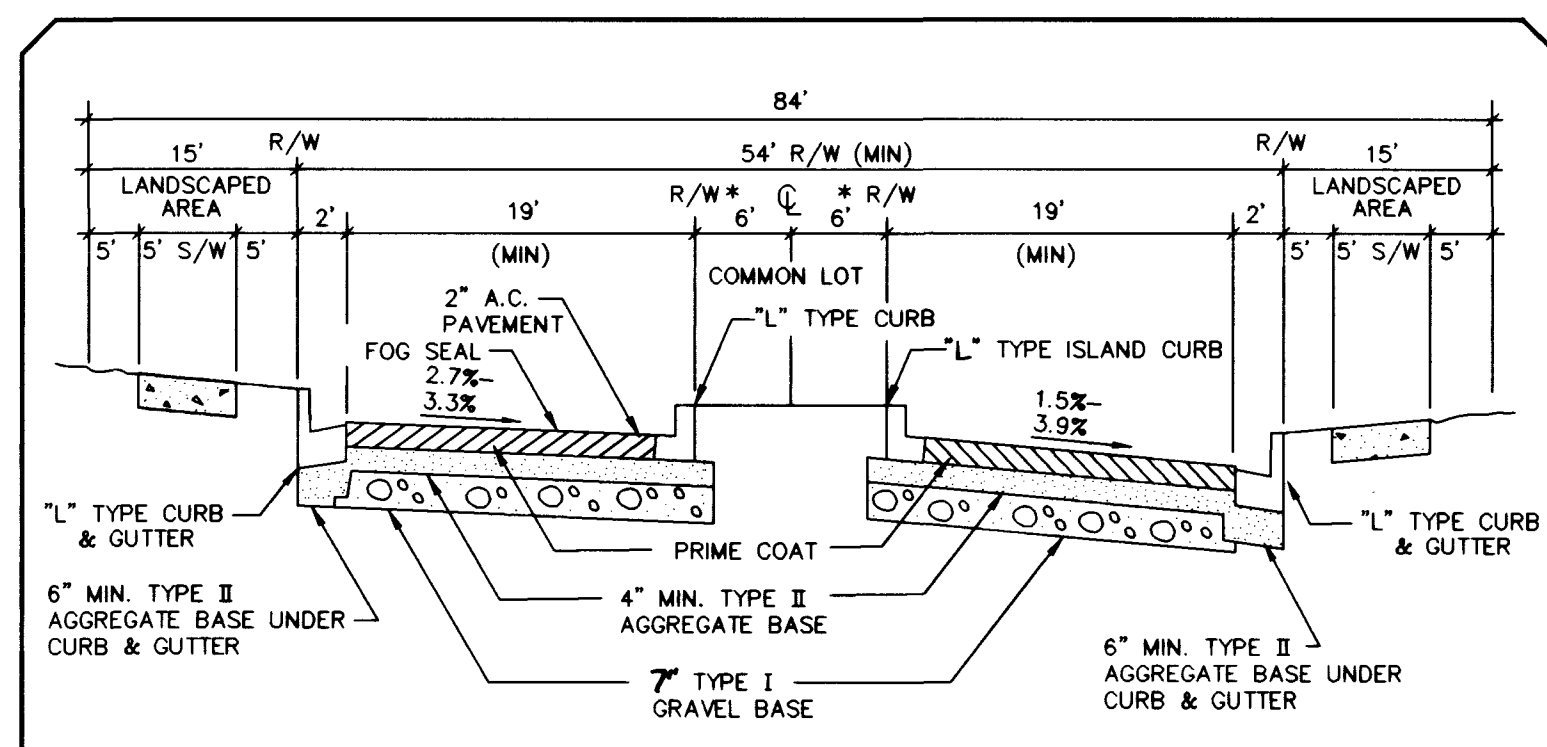
- | | |
|-----------------------------------|-----------------------------------|
| FL | FLOW LINE |
| FG | FINISHED GRADE |
| FG-TB | FINISHED GRADE/TOP OF BERM |
| TC | TOP OF CURB |
| TC+HP | TOP OF CURB HIGH POINT |
| SWALE | SWALE |
| GRADE BREAK | GRADE BREAK |
| 2:1 SCARP | 2:1 SCARP |
| BUILDING SETBACK | BUILDING SETBACK |
| TOP OF SLOPE, FRONT AND SIDE YARD | TOP OF SLOPE, FRONT AND SIDE YARD |
| FUTURE IMPROVEMENTS | FUTURE IMPROVEMENTS |
| EXISTING IMPROVEMENTS | EXISTING IMPROVEMENTS |
| GARDEN WALL | GARDEN WALL |
| RETAINING WALL | RETAINING WALL |
| EDGE OF EXISTING ASPHALT | EDGE OF EXISTING ASPHALT |
| SUBDIVISION BOUNDARY | SUBDIVISION BOUNDARY |
| STREET CENTERLINE | STREET CENTERLINE |
| BLOCK NUMBER | BLOCK NUMBER |
| LOT NUMBER | LOT NUMBER |
| PROPOSED FINISH FLOOR | PROPOSED FINISH FLOOR |
| PROPOSED PAD ELEVATION | PROPOSED PAD ELEVATION |
| FUTURE PAD ELEVATION | FUTURE PAD ELEVATION |
| EXISTING PAD ELEVATION | EXISTING PAD ELEVATION |
| EXISTING CONTOUR 5 | EXISTING CONTOUR 5 |
| EXISTING CONTOUR 1 | EXISTING CONTOUR 1 |
| EXISTING ELEVATION | EXISTING ELEVATION |
| PROPOSED ELEVATION | PROPOSED ELEVATION |
| FUTURE ELEVATION | FUTURE ELEVATION |
| HIGH POINT OF SWALE | HIGH POINT OF SWALE |
| COURSES OF 8" CMU | COURSES OF 8" CMU |
| NUMBER OF RETAINING COURSES | NUMBER OF RETAINING COURSES |

BACKS OF BEARINGS

NORTH 51°53'13" EAST, BEING THE BEARING BETWEEN G. C. WALLACE CONTROL MONUMENT No. 194 AND G. C. WALLACE CONTROL MONUMENT No. 204 (BRUTUS) SITUATE IN SECTION 25, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE CLARK COUNTY RECORDER IN FILE 85 OF SURVEYS, AT PAGE 17.

BENCHMARK

G. C. WALLACE CONTROL MONUMENT No. 204 (BRUTUS)
A 2" BRASS CAP IN CONCRETE STAMPED "BRUTUS" PER FILE 85 OF SURVEYS, AT PAGE 17.
ELEVATION = 3000.64 (SUMMERLIN DATUM)



PRIMARY PARCEL ENTRY ROAD
PER S.I.S. S-12 (MODIFIED)

*NOTE: CENTER MEDIAN ISLAND IS NOT CITY RIGHT-OF-WAY, BUT A COMMON LOT OWNED AND MAINTAINED BY H.O.A.

PENTACORE
CIVIL ENGINEERING • LAND SURVEYING • PLANNING
CONSTRUCTION MANAGEMENT • ADA CONSULTING
6763 WEST CHARLESTON BOULEVARD
LAS VEGAS, NEVADA 89102 (702)258-0115

LEWIS HOMES OF NEVADA

CHARDONNAY No. 61

GRADING PLAN

SHEET

10
OF 11

1074-4512-61

