

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGES OR DISCREPANCIES.

Call
811

OR
1-800-227-2600

FAST

Call
before you
UnderGround
1-702-432-5300
FREEWAY AND ARTERIAL
SYSTEM OF TRANSPORTATION

AVOID HITTING OVERHEAD
POWER LINES. IT'S COSTLY.

**CALL BEFORE
YOU DO
OVERHEAD**



1-702-227-2929

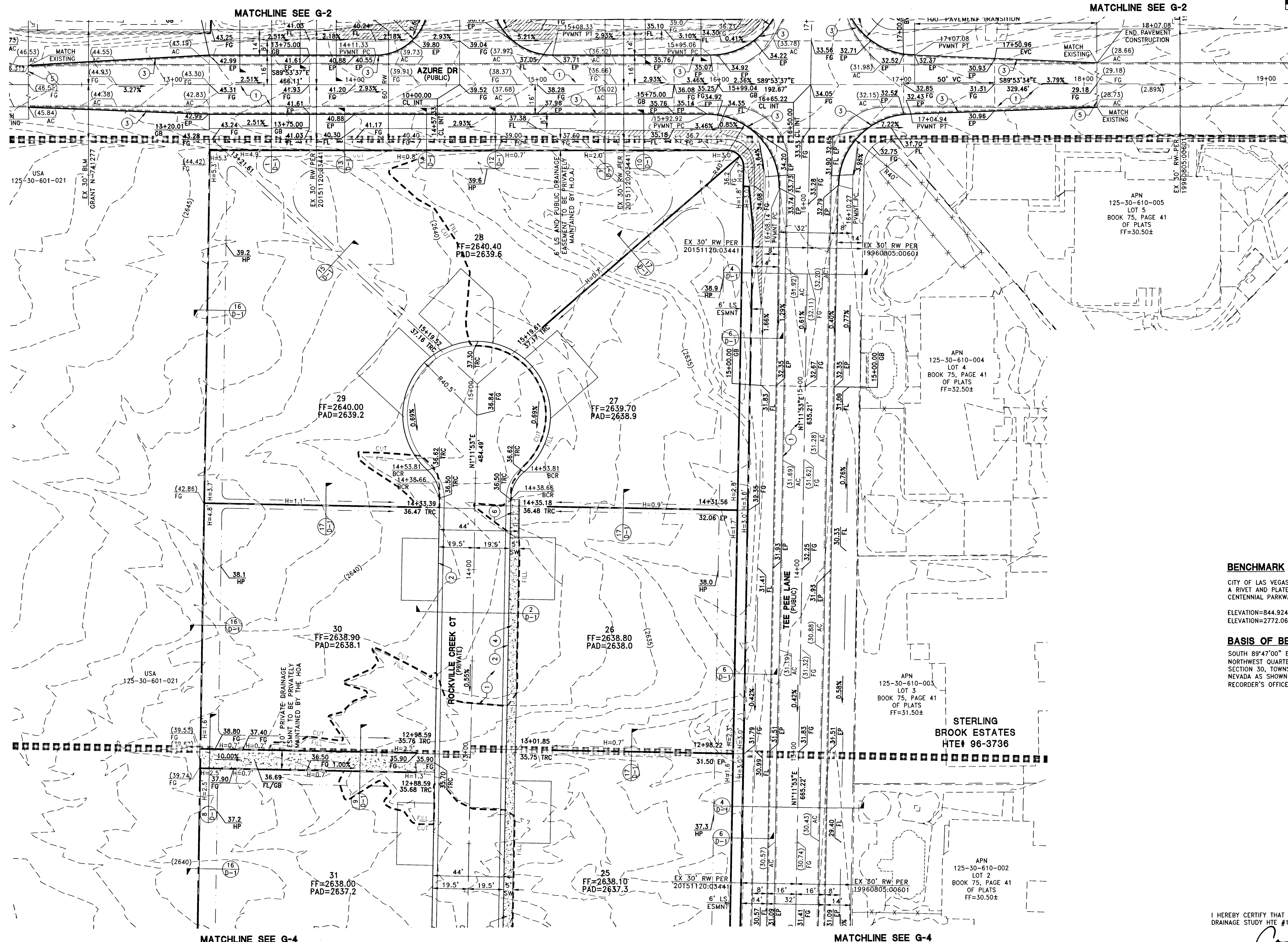
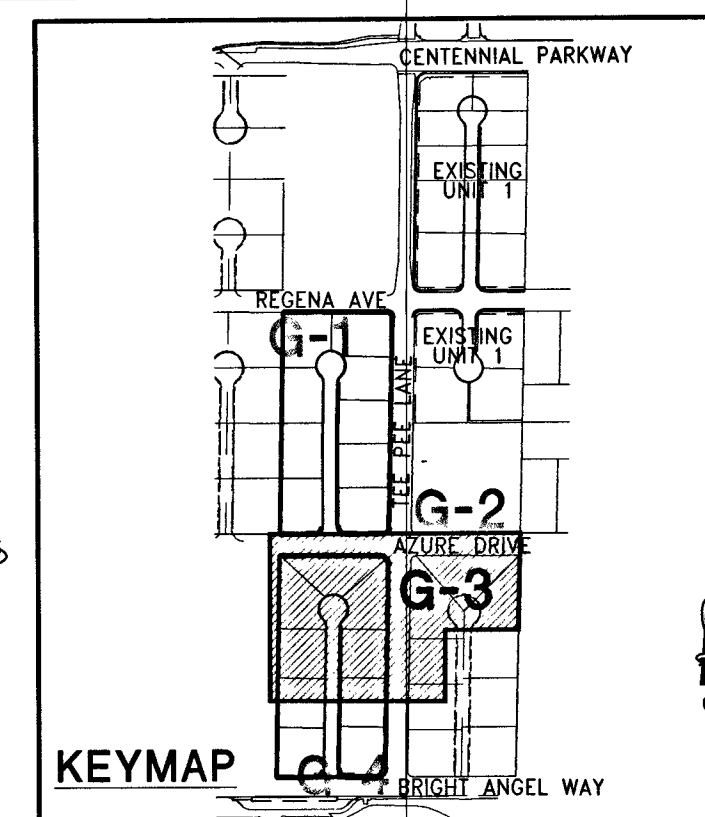
- ① CONSTRUCT SHEET D-1 AC PAVEMENT PER DETAILS 1 THRU 5 ON
- ② CONSTRUCT 30" ROLL CURB PER CCAUSD # 217.S1
- ③ CONSTRUCT SHEET D-1 CONCRETE CUT OFF WALL PER DETAIL 1 ON
- ④ CONSTRUCT 5' SIDEWALK PER CCAUSD # 234
(5-INCH THICK WHEN CONTIGUOUS TO ROLL CURB)
- ⑤ SAW CUT AND MATCH EXISTING PAVEMENT, FINAL LIMITS
TO BE FIELD DETERMINED BY INSPECTOR
- ⑥ CONSTRUCT SIDEWALK RAMPS USING ARMOR TILE TRUNCATED
DOMES OR EQUIVALENT PER CCAUSD #235 (CASE 3)
- ⑦ EXISTING CONCRETE CUT OFF WALL

ALL STRUCTURES SHOWN OR INDICATED ON THIS SUBMITTAL WITHIN THE PROJECT AREA REQUIRE A BUILDING PERMIT. APPLICATION AND SUBMITTAL THIS INCLUDES BUILDINGS, ABOVE GROUND TANKS, SIGNS, RETAINING WALLS, FENCES, TRASH ENCLOSURES, SHADE STRUCTURES, STAIRWAYS, RAMPS, LIGHT POLES, LIGHT BOLLARDS, ETC. THIS DOES NOT INCLUDE ANY FLOOD CONTROL STRUCTURE SUCH AS PIPES, CULVERTS, ARCH CULVERTS, HEADWALLS, ETC. THIS DOES NOT INCLUDE ANY PAVED PARKING LOT, PAVED STREET, DRIVE-THRU, THIS DOES NOT INCLUDE PRIVATE STREETS. THE REVIEW OF CIVIL IMPROVEMENT AND/OR GRADING PLANS DOES NOT INCLUDE ANY REVIEW OF ANY STRUCTURE THAT REQUIRES A BUILDING PERMIT APPLICATION."

NO WALLS, FENCES, SHRUBS, UTILITY APPURTENANCES OR ANY OTHER OBJECT, OTHER THAN TRAFFIC CONTROL DEVICES, FIRE HYDRANTS, TREES, AND STREET LIGHT POLES, MAY BE CONSTRUCTED OR INSTALLED WITHIN THE SIGHT VISIBILITY ZONE UNLESS SAID OBJECT IS MAINTAINED AT LESS THAN 24 INCHES IN HEIGHT, MEASURED FROM TOP OF CURB, OR WHERE NO CURB EXISTS, A HEIGHT OF 27 INCHES MEASURED FROM THE TOP OF ADJACENT ASPHALT, GRAVEL OR PAVEMENT STREET SURFACE. THIS RESTRICTION EXTENDS ALONG THE SIGHT VISIBILITY LINE THROUGH LANDSCAPED MEDIANS.

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL MAP NUMBER 32003C1745E DATED SEPTEMBER 27, 2002, THE SITE IS LOCATED IN A ZONE "X". ZONE "X" AREAS ARE DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN.

1. CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
2. SEE DETAIL SHEET FOR ON-SITE PAVEMENT SECTIONS. CONTRACTOR TO VERIFY WITH SOILS REPORT.
3. SEE FINAL MAP FOR EXACT PROPERTY LINE DIMENSIONS.
4. ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
5. THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.
6. ALL GRADING SHALL CONFORM TO SOILS REPORT RECOMMENDATIONS.
7. DURING CONSTRUCTION, SURVEYORS AND CONTRACTORS MUST VERIFY THAT ALL STREETS AND LOTS HAVE POSITIVE DRAINAGE. SAME MUST UTILIZE AT LEAST THREE GRADES ON VERTICAL TANGENTS TO VERIFY SLOPES.
8. SOIL REPORT NOTE:
GRADING SHALL BE IN ACCORDANCE
WITH SOILS REPORT PREPARED BY:
ENGINEER: AMERICAN CIVIL ENGINEERING, LLC
PROJECT NO. 1691-GE0
DATED: DECEMBER 30, 2013
UPDATED: MARCH 9, 2015
9. CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE ELEVATIONS
NET CUT: 19,150 CU
NET FILL: 21,794 CU
10. SEE DETAIL 21 & 22 ON SHEET D-2 FOR TYPICAL LOT DRAINAGE
11. FOR STORMWATER RUNOFF MANAGEMENT NOTES REFER TO SHEET N-1
12. FOR ALL PAVED SLOP GRAD ELEVATION, ADD 2600 FEET FOR ELEVATION REFERENCE TO SEA LEVEL.



CITY OF LAS VEGAS BENCHMARK 6LV99 24SE5
A RIVET AND PLATE IN THE TOP OF CURB AT THE NORTHWEST CORNER OF
CENTENNIAL PARKWAY AND HUALAPAI WAY.

ELEVATION=844.924 METERS (NAVD'88)
ELEVATION=2772.06 US SURVEY FEET (NAVD'88)

SOUTH 89°47'00" EAST BEING THE BEARING OF THE NORTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY NEVADA AS SHOWN BY MAP THEREOF ON FILE IN THE CLARK COUNTY RECORDER'S OFFICE IN FILE 89, PAGE 3 OF SURVEYS.

**CLARK COUNTY DEPARTMENT
OF PUBLIC WORKS
DEVELOPMENT REVIEW**

ACCEPTANCE OF PLANS FOR FILING BY _____

BY	
	ACCEPTANCE OF THESE PLANS FOR FILING SHALL NOT BE CONSTRUED TO BE A PERMIT FOR OR AN APPROVAL OF ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS AND/OR SPECIFICATIONS. CLARK COUNTY SHALL BE HELD FREE FROM DAMAGE WHICH MAY RESULT FROM CONSTRUCTION OF THE IMPROVEMENTS FROM THE ENGINEERING DESIGN DEPICTED HEREIN. NOTE: POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN THEIR PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO CLARK COUNTY.

I HEREBY CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY HTE #14-14210UP ON FILE WITH CLARK COUNTY FOR THIS PROJECT

CHRISTOPHER R. ZRINYI, PE NO. 13976

5.4.14
H# 59963 DATE

LENNAR®
2490 PASEO VERDE PARKWAY SUITE 120 HENDERSON, NV 89074

PHONE: (702) 736-9100 FAX: (702) 736-9200

Engineering

4325 Dean Martin Road, Suite 300, Las Vegas, NV 89103
PH#702.453.0800 FAX#702.453.0801

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1

IMPROVEMENT PLANS FOR
CENTENNIAL AND TEE PEE UNIT 2
A SINGLE FAMILY RESIDENTIAL SUBDIVISION
GRADING PLAN
(SHEET 3 OF 4)

EVADA

CLARK COUNTY
2\S003 G01.dwg durbach 5/04/16 10:34gm

G-3

SHT 5 OF 2

HTE NUMBER

15-27518