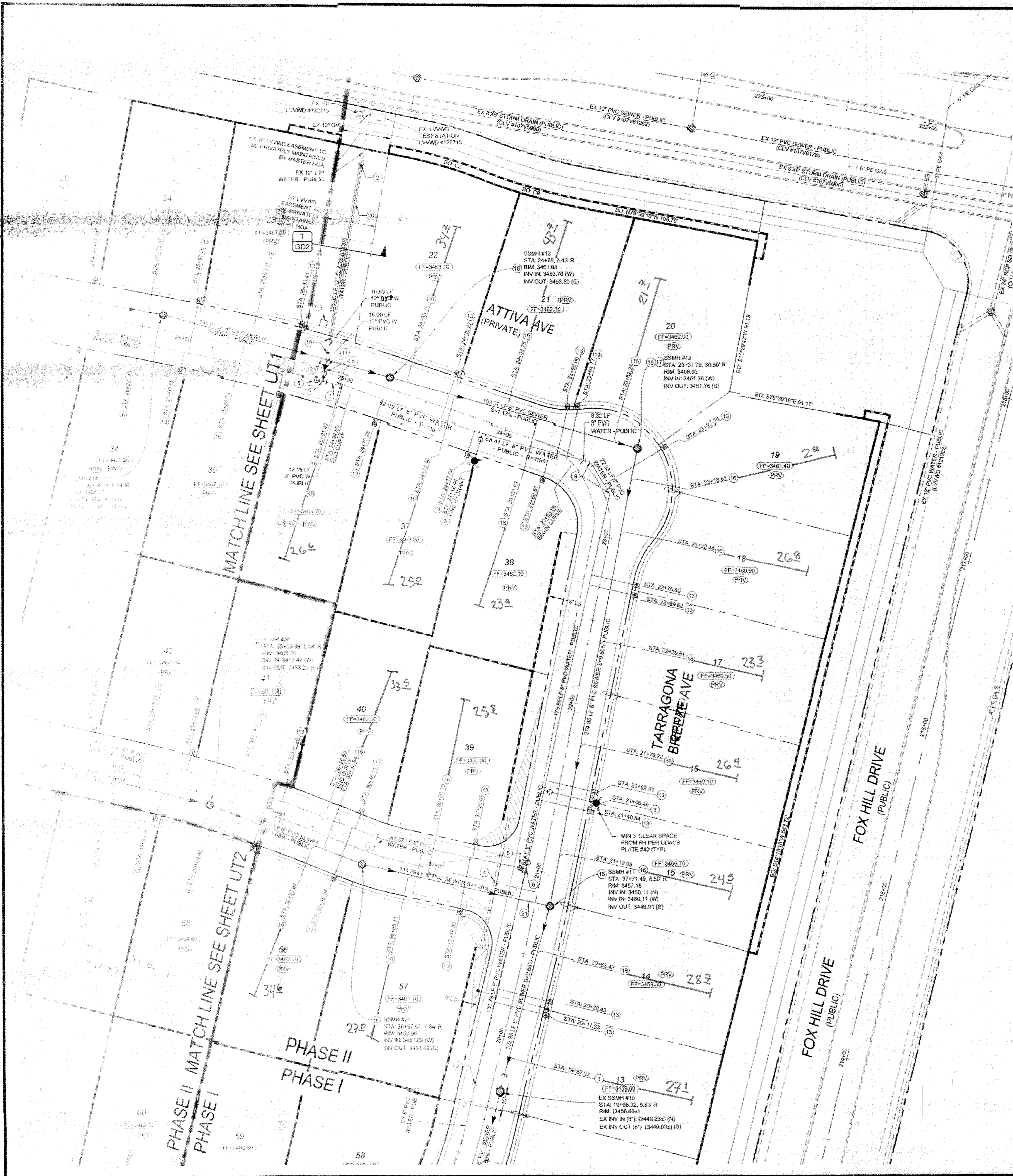




SEWER CONNECTION NOTE:
ONE OR MORE OF THE DOWNSTREAM SEWER SYSTEM THAT WILL SERVE THIS PROJECT HAS NOT BEEN COMPLETED AND/OR ACCEPTED FOR MAINTENANCE BY THE CITY OF LAS VEGAS. ANY WORK DONE ON THIS PROJECT PRIOR TO THE COMPLETION AND/OR ACCEPTANCE OF THE SEWER SYSTEM(S) SHALL BE DONE AT THE DEVELOPER'S OWN RISK. THE CITY OF LAS VEGAS RESERVES THE RIGHT TO PREVENT THE PHYSICAL CONNECTION OF THIS PROJECT INTO THE DOWNSTREAM SEWER SYSTEM UNTIL ALL SEGMENTS HAVE BEEN COMPLETED AND ACCEPTED FOR MAINTENANCE, OR UNTIL SUCH TIME AS THEY ARE DEEMED AVAILABLE FOR SERVICE.

PRV NOTE
LOTS: 13-27, 31-46, 50-57, 60-64, 70-74
THIS PROPERTY MAY HAVE STATIC WATER PRESSURE IN EXCESS OF 80 PSI. THE UNIFORM PLUMBING CODE REQUIRES THAT INDIVIDUAL ON-SITE (PRIVATE) PRESSURE-REDUCING VALVES BE INSTALLED WHENEVER THE PRESSURE EXCEEDS 80 PSI. PRVS ARE THE DEVELOPER'S RESPONSIBILITY, AND WILL NOT BE INSPECTED OR INCLUDED IN THE ACCEPTANCE OF LVVWD FACILITIES.

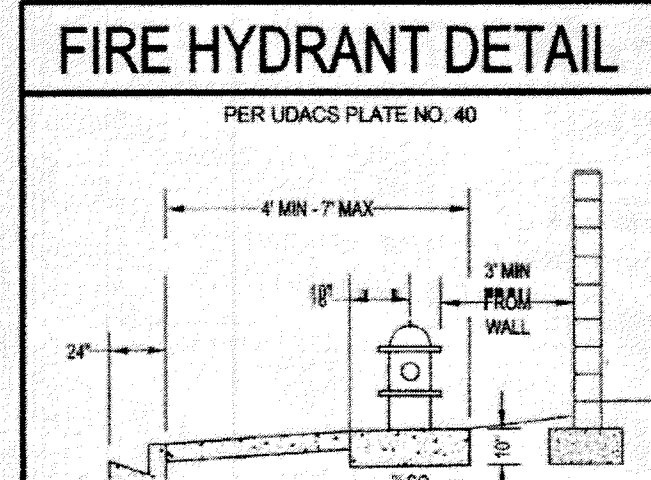
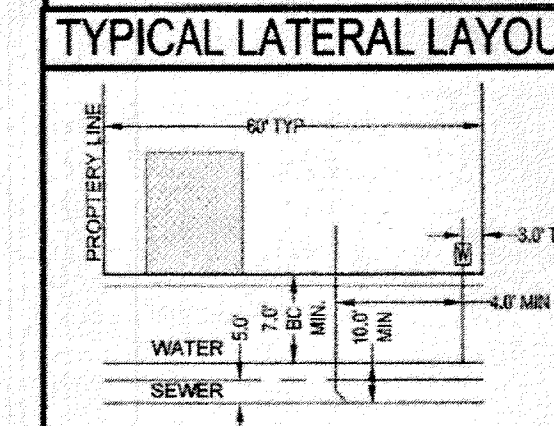
Call Before You Dig
AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
CALL 811
OR
1-800-227-2600

Call Before You Dig
AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
CALL BEFORE YOU DIG OVERHEAD
1-702-227-2929

ASBUILT

WESTERN STATES CONTRACTING, INC.
4184 W. CHEYENNE AVE. SUITE B
H. LAS VEGAS, NV 89032

EASEMENTS
EASEMENT WITH TREES, SHRUBS, DECORATIVE ROCKS, BLOCK WALL OR FENCE
TREES, SHRUBS OR DECORATIVE ROCKS, AND ANY BLOCK WALL OR OTHER FENCE MATERIAL, SHALL BE DESIGNED AND CONSTRUCTED AROUND THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS TO THE VAULT(S), BACKFLOW ASSEMBLY, AND PIPING FROM THE ADJACENT RIGHT-OF-WAY.

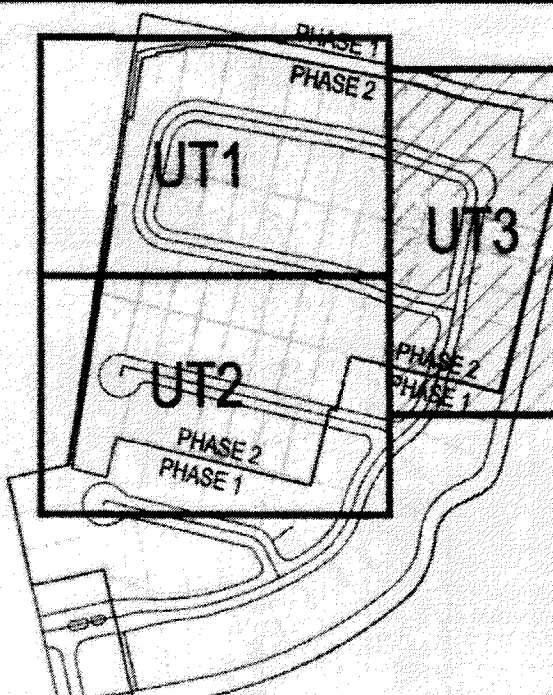


WASTEWATER CALCULATIONS
PHASE 2
FACILITY TYPE: SINGLE FAMILY RESIDENTIAL
TOTAL UNITS AT BUILD OUT: 60 HOUSES
AVERAGE FLOW (MGD) = 0.015
PEAK FLOW (MGD) = 0.052
PEAK + WET (MGD) = 0.065
CALCULATION
AVG FLOW = 60 X (60,000/365) X (1/1,000,000) = 0.015 MGD
PEAK FLOW = 0.015 X 3.5 = 0.052 MGD
PEAK + WET = 0.052 X 1.25 = 0.065 MGD

FIRE FLOW CALCULATIONS
FIRE FLOW REQUIREMENT IS 1,750 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL.
BASED ON:
LIVABLE AREA: 3,435 SQ. FT.
AREA UNDER ROOF: 4,699 SQ. FT.
LARGEST AREA BETWEEN SEPARATE WALLS: N/A
HEIGHT: 30'
TYPE OF CONSTRUCTION: V-B
SPRINKLER SYSTEM: NO
HIGH PILED COMBUSTIBLE STORAGE: NO
OCCUPANCY: RESIDENTIAL
ROOF CONSTRUCTION: TILE
STORIES: 2
ESFR SYSTEM: NO

- CONSTRUCTION NOTES**
- EX. 4" PVC SEWER LATERAL, 6" MIN. SEPARATION FROM WATER MAIN, REMOVE CAP & BLOW OFF PER UDACS PLATE NO. 36 & CONNECT TO EX. 8" STUB PER UDACS PLATE NO. 19
 - FIRE HYDRANT ASSEMBLY W/ 6" GATE VALVE (UDACS PLATE NO. 40)
 - (2) 4" PVC IRRIGATION CONDUIT
 - 6" GATE VALVE (PLATE NO. 30 & 38)
 - 8" TEE (PLATE NO. 31)
 - 8" 11.25' BEND (PLATE NO. 31)
 - 8" 22.5' BEND (PLATE NO. 31)
 - 8" 45' BEND (PLATE NO. 31)
 - 8" 90' BEND (PLATE NO. 31)
 - 6" 60' WATERLINE REDUCER (UDACS PLT. 30)
 - 2" BLOW-OFF ASSEMBLY (PLATE NO. 35)
 - 1" WATER SERVICE W/ 3/4" METER (PLATE NO. 2)
 - 3/4" IRRIGATION METER W/ 1" RPPA (PLATE NO. 4 & 8)
 - 48" PRECAST MANHOLE (DCSWCS SD-1)
 - 4" PVC SEWER LATERAL W/ MARKER BALL & CURB MARKING (DCSWCS SD-22)
 - INSTALL MANHOLE W/ WATER TIGHT, AGENCY APPROVED ELECTROMETRIC JOINT SEALANT PER UDACS SECTION 2.22
 - 12" 12' WATERLINE REDUCER (UDACS PLT. 30)
 - 12" VERTICAL 45' BEND (PLATE NO. 22)
 - 24" STEEL SLEEVE (PLATE NO. 22 & 23)
 - INSTALL CONCRETE CAP PER DCSWCS SD-21
 - LVVWD TEST STATION (SEE DETAIL 88 SHEET PPS)
 - 5" 60' WATERLINE REDUCER (UDACS PLT. 30)
 - 1" WATER SERVICE W/ 3/4" METER (PLATE NO. 4)

KEY MAP



UTILITY NOTES

- ALL WATER FACILITIES CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "UNIFORM DESIGN AND CONSTRUCTION" STANDARDS FOR WATER DISTRIBUTION SYSTEMS (UDACS), LATEST EDITION.
- FIRE, WATER, AND SEWER SERVICES, AS APPROVED ON THIS PLAN, ARE INTENDED SPECIFICALLY FOR THE LOT AND USE SHOWN, AND ARE NOT INTENDED TO SERVICE ADDITIONAL PARCELS OR STRUCTURES WHICH MAY BE CREATED IN THE FUTURE. IN THE EVENT THAT THE PARCELS AND/OR LOTS SHOWN ON THIS PLAN ARE FURTHER DIVIDED TO CREATE ADDITIONAL PARCELS OR LOTS, THE OWNER IS REQUIRED TO PROVIDE SEPARATE FIRE, WATER, & SEWER SERVICES TO EACH.
- WATER AND SEWER LATERALS SHALL BE INSTALLED A MINIMUM OF 48" APART IN SEPARATE TRENCHES. WATER LATERALS SHALL BE A MINIMUM OF 12" ABOVE THE SEWER LATERAL. (REF. UDACS SECTION 2.2.09)
- LOCATOR WIRE SHALL BE USED FOR ALL SERVICE LATERALS NOT PERPENDICULAR TO THE MAIN. (TYPICAL)
- ALL SEWER/STORM DRAINS CROSSING WATER LINES MUST CONFORM TO SECTION 2.22 OF "UNIFORM DESIGN AND CONSTRUCTION" STANDARDS FOR WATER DISTRIBUTION SYSTEMS (UDACS) FOR WATER AND STORM MAIN CROSSINGS AND CLEARANCES.
- ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO CLARK COUNTY.
- ALL ON-SITE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED.
- INSTALL PIPELINE MARKER BALLS IN TRENCH ABOVE EACH HORIZONTAL ELBOW FITTING. (UDACS PLT. 15)

UTILITY DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS. CALL BEFORE YOU DIG: 1-800-227-2600. CALL BEFORE YOU OVERHEAD: 1-702-227-2929

WATER MAIN JOINT DEFLECTION

(PVC 4" < 2")
PVC PIPE SHALL BE DEFLECTED AT THE JOINT ONLY. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE ONE (1) DEGREE PER JOINT WITH A MAXIMUM RADIUS OF CURVATURE OF 1,100 FEET, PER UDACS 2.07.01 AND 2.07.02.
FOR CHANGES IN DIRECTION EXCEEDING THE MAXIMUM ALLOWABLE JOINT DEFLECTION, FITTING SHALL BE USED.

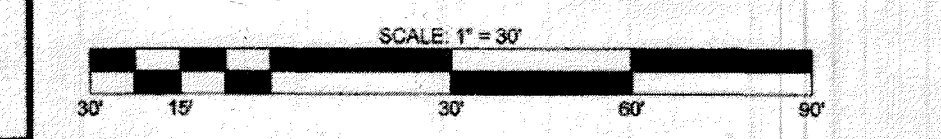
RPPA NOTES (1) 1"

APPROVED REDUCED PRESSURE PRINCIPLE ASSEMBLY(S) SHALL BE PER THE UDACS PLATE NO. 8. NO WATER SHALL BE TAKEN FROM A SERVICE REQUIRING BACKFLOW PREVENTION UNTIL THE REDUCED PRESSURE PRINCIPLE ASSEMBLY HAS BEEN SUCCESSFULLY TESTED BY THE LVVWD. ANY BLOCK WALL OR OTHER FENCE MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY. EASEMENTS SHALL BE CLEARLY MARKED OR STAKED PRIOR TO THE START OF CONSTRUCTION.

LVVWD NOTES

THE DISTRICT CANNOT GUARANTEE A WATERTIGHT SHUT DOWN WHERE CONNECTIONS OR REPAIRS TO EXISTING FACILITIES ARE REQUIRED. THE CONTRACTOR SHALL ENSURE ALL WATER AND EQUIPMENT IS AVAILABLE TO REMOVE FUGITIVE WATER THAT MAY IMPEDE CONSTRUCTION AT ALL TIMES. COORDINATION WITH INSPECTION DIVISION MUST TAKE PLACE PRIOR TO ANY TRIAL SHUTDOWN.
CONTRACTOR TO INSTALL TEMPORARY SERVICE TO ENSURE PROPER SHUTDOWN IN THE EVENT NO OTHER APURTENANCES ARE AVAILABLE.
MAINTAIN A MIN. 3' OF HORIZONTAL CLEARANCE FROM WATER MAINS AND DRY UTILITIES PER UDACS SECTION 2.04.02.
MAINTAIN MIN. 12" OF VERTICAL CLEARANCE BETWEEN WATER MAINS AND DRY UTILITIES PER UDACS SECTION 2.04.04.
MAINTAIN MIN. 6" OF VERTICAL CLEARANCE BETWEEN WATER LATERALS AND DRY UTILITIES PER UDACS SECTION 2.04.06

SCALE



LEGAL DESCRIPTION

PARCEL 2 OF SUMMERLIN VILLAGE 23B UNIT 3 AS SHOWN IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN BOOK 147, PAGE 12 OF PLATS, LYING WITHIN SECTION 27, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

BASIS OF BEARINGS

NORTH 01°09'37" EAST, BEING THE BEARING OF THE WEST LINE OF SECTION 27, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN BOOK 147, PAGE 12 OF PLATS.

BENCHMARK

7LW02788: RIVET AND PLATE IN TOP OF CURB AT NE CORNER OF MOUNTAIN SHADOW ROAD AND DESERT FIVE ROAD, ELEVATION 3,353.51 (FEST/10/13/588 METERS (NAD83))

APPROVAL BLOCK

APPROVED FOR CONSTRUCTION
[Signature] 6/15/15
LAS VEGAS VALLEY DISTRICT ENGINEERING SERVICES MANAGER
(P/038 123552)
LVVWD APPROVED FIRE FLOW: 1,750 GPM AT 20 PSI RESIDUAL
LVVWD FIRE DEPARTMENT
APPROVAL OF THESE PLANS SHALL NOT BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS. FIRE FLOW = 1,750 G.P.M. AT 20 PSI RESIDUAL.

ASBUILT		NO.	DESCRIPTION	REVISIONS	DATE
WILLIAM LYON HOMES 500 LOT ROAD, SUITE G LAS VEGAS, NV 89119 (702) 263-9200 FAX: (702) 263-9200		TANBY ENGINEERING 6030 S. VANDERBILT STREET LAS VEGAS, NV 89119 (702) 365-8844 FAX: (702) 365-5233			
SUMMERLIN VILLAGE 23B - PARCEL 2 ALLEGRA - PHASE 2 A RESIDENTIAL SUBDIVISION		UTILITY PLAN III			
		DATE: 6/12/2015 SCALE: 1"=30' JOB NO: WLL 14-095 DESIGNED BY: SJW CHECKED BY: RRC SHEET NAME: UT3 SHEET: 18 OF 21 CLV H58714			