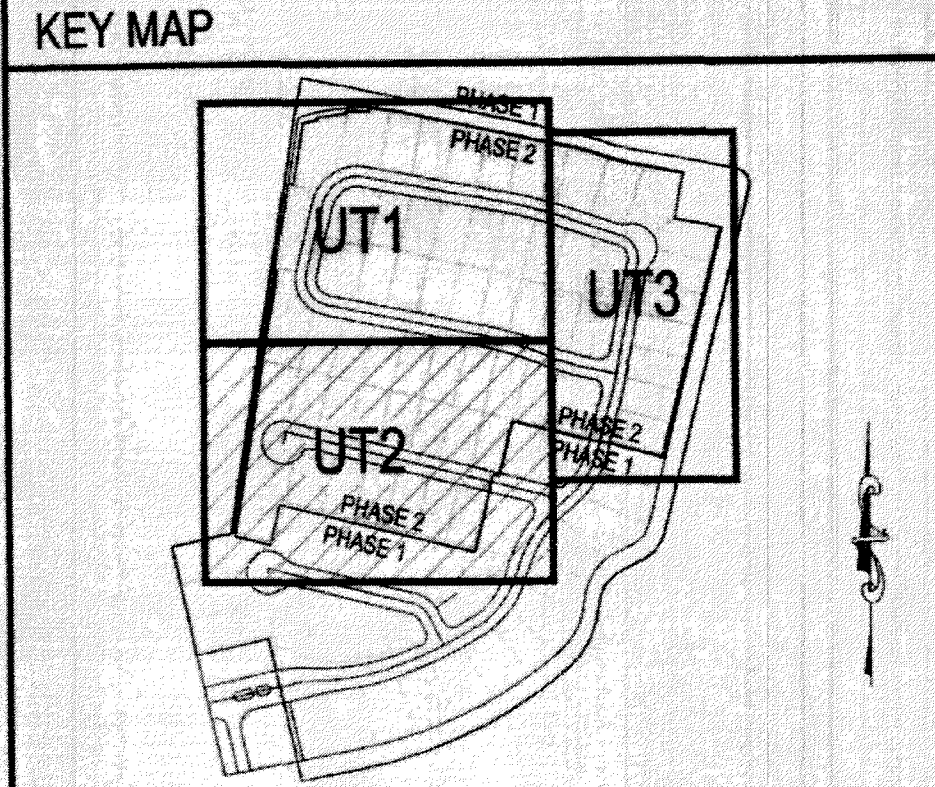
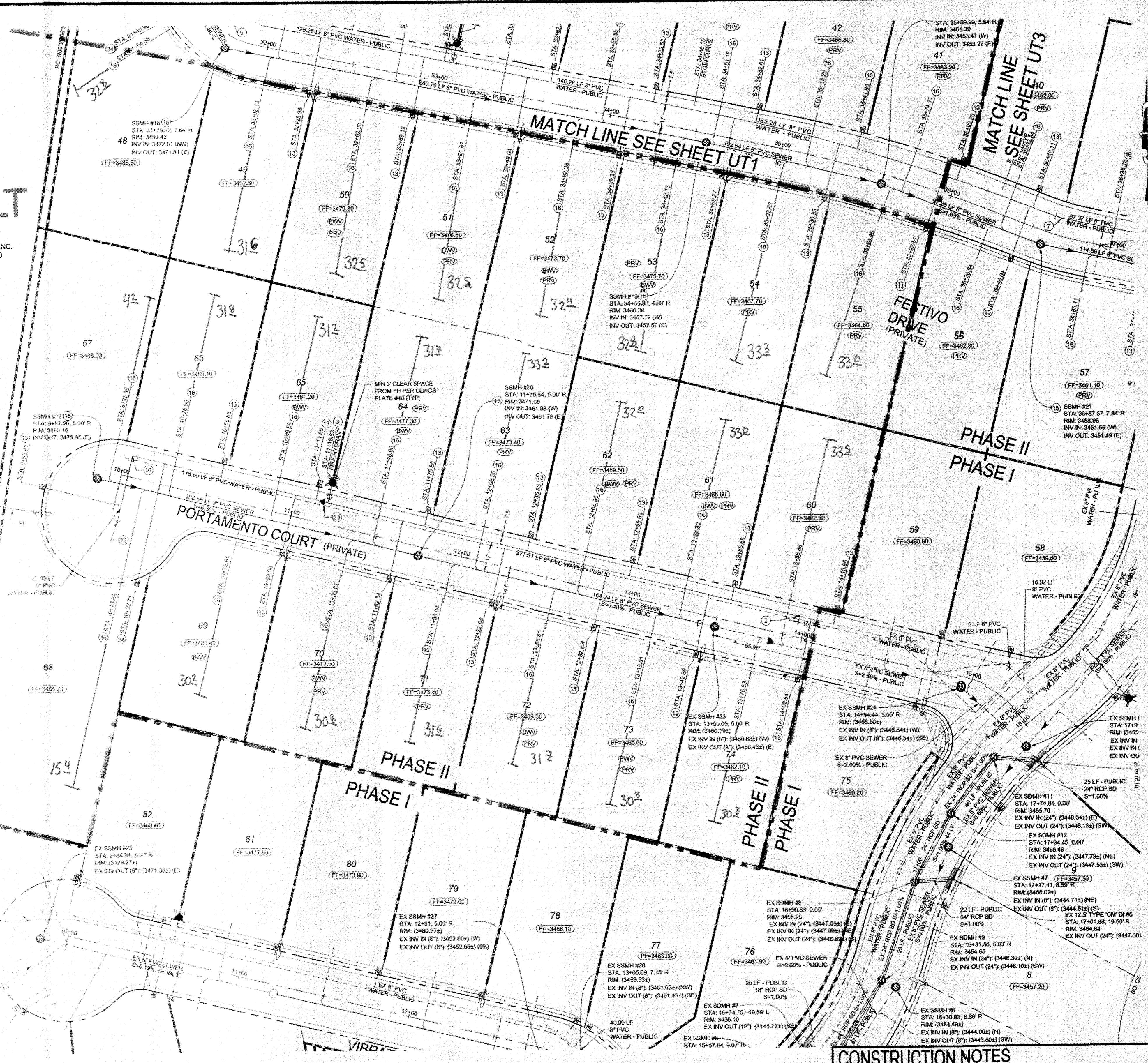


EASEMENTS
1. EASEMENT FOR UTILITY LINES, SHALL BE 10 FEET WIDE.
2. EASEMENT FOR UTILITY LINES, SHALL BE 10 FEET WIDE.
3. EASEMENT FOR UTILITY LINES, SHALL BE 10 FEET WIDE.

ASBUILT
WESTERN STATES CONTRACTING, INC.
4129 W. CHEYENNE AVE. SUITE B
N. LAS VEGAS, NV 89132

1-702-227-2929

PRV NOTE
THIS PROJECT IS A PRIVATE DEVELOPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS FROM THE ADJACENT PROPERTY OWNERS.



UTILITY NOTES
1. ALL WATER FACILITIES CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR WATER DISTRIBUTION SYSTEMS" (UDACS), LATEST EDITION.
2. FIRE, WATER, AND SEWER SERVICES, AS APPROVED ON THIS PLAN, ARE INTENDED SPECIFICALLY FOR THE LOT AND USE SHOWN, AND ARE NOT INTENDED TO SERVICE ADDITIONAL PARCELS OR STRUCTURES WHICH MAY BE CREATED IN THE FUTURE. IN THE EVENT THAT THE PARCELS AND/OR LOTS SHOWN ON THIS PLAN ARE FURTHER DIVIDED TO CREATE ADDITIONAL PARCELS OR LOTS, THE OWNER IS REQUIRED TO PROVIDE SEPARATE FIRE, WATER, & SEWER SERVICES TO EACH.
3. WATER AND SEWER LATERALS SHALL BE INSTALLED A MINIMUM OF 48" APART IN SEPARATE TRENCHES. WATER LATERALS SHALL BE A MINIMUM OF 12" ABOVE THE SEWER LATERAL (REF. UDACS SECTION 2.2.2.3).
4. LOCATOR WIRE SHALL BE USED FOR ALL SERVICE LATERALS NOT PERPENDICULAR TO THE MAIN (TYPICAL).
5. ALL SEWER/STORM DRAINS CROSSING WATER LINES MUST CONFORM TO SECTION 2.2.2 OF "UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR WATER DISTRIBUTION SYSTEMS" (UDACS) FOR WATER AND STORM MAIN CROSSINGS AND CLEARANCES.
6. ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO CLARK COUNTY.
7. ALL ONSITE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED.
8. INSTALL PIPELINE MARKER BALLS IN TRENCH ABOVE EACH HORIZONTAL ELBOW FITTING. (UDACS PLT. 15)

UTILITY DISCLAIMER NOTE
EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS. CALL BEFORE YOU DIG: 1-800-227-2800. CALL BEFORE YOU OVERHEAD: 1-702-227-2929.

WATER MAIN JOINT DEFLECTION
(PVC 4-12")
PVC PIPE SHALL BE DEFLECTED AT THE JOINT ONLY. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE ONE (1) DEGREE PER JOINT WITH A MAXIMUM RADIUS OF CURVATURE OF 1,150 FEET. PER UDACS 2.07.01 AND 2.07.02.
FOR CHANGES IN DIRECTION EXCEEDING THE MAXIMUM ALLOWABLE JOINT DEFLECTION, FITTING SHALL BE USED.

RPPA NOTES (1) 1"
APPROVED REDUCED PRESSURE PRINCIPLE ASSEMBLY(S) SHALL BE PER THE UDACS PLATE NO. 8. NO WATER SHALL BE TAKEN FROM A SERVICE REQUIRING BACKFLOW PREVENTION UNTIL THE REDUCED PRESSURE PRINCIPLE ASSEMBLY HAS BEEN SUCCESSFULLY TESTED. ANY BLOCK WALL OR OTHER FENCE MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY. EASEMENTS SHALL BE CLEARLY MARKED OR STAKED PRIOR TO THE START OF CONSTRUCTION.

LVVWD NOTES
THE DISTRICT CANNOT GUARANTEE A WATERTIGHT SHUT DOWN WHERE CONNECTIONS OR REPAIRS TO EXISTING FACILITIES ARE REQUIRED. THE CONTRACTOR SHALL ENSURE ALL LABOR AND EQUIPMENT IS AVAILABLE TO REMOVE FLUTIGUE WATER THAT MAY IMPEDE CONSTRUCTION AT ALL TIMES. COORDINATION WITH INSPECTION DIVISION MUST TAKE PLACE PRIOR TO ANY TRIAL SHUTDOWN.
CONTRACTOR TO INSTALL TEMPORARY SERVICE TO ENSURE PROPER SHUTDOWN IN THE EVENT NO OTHER APPURTENANCES ARE AVAILABLE.
MAINTAIN A MIN. 3' OF HORIZONTAL CLEARANCE FROM WATER MAINS AND DRY UTILITIES PER UDACS SECTION 2.04.02.
MAINTAIN MIN. 12" OF VERTICAL CLEARANCE BETWEEN WATER MAINS AND DRY UTILITIES PER UDACS SECTION 2.04.06.
MAINTAIN MIN. 6" OF VERTICAL CLEARANCE BETWEEN WATER LATERALS AND DRY UTILITIES PER UDACS SECTION 2.04.06.

SCALE
SCALE: 1" = 30'

LEGAL DESCRIPTION
PARCEL 2 OF SUMMERLIN VILLAGE 23B UNITS 3 AS SHOWN IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN BOOK 147, PAGE 12 OF PLATS, LYING WITHIN SECTION 22, TOWNSHIP 20 NORTH, RANGE 59 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN BOOK 147, PAGE 12 OF PLATS.

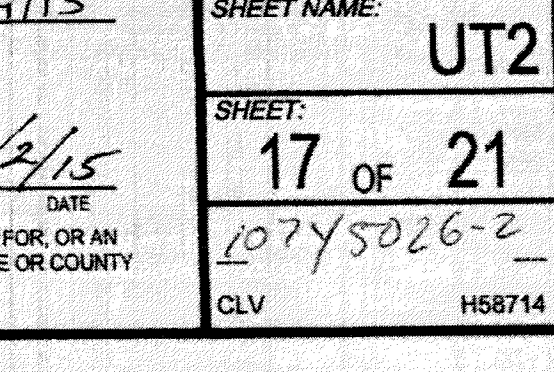
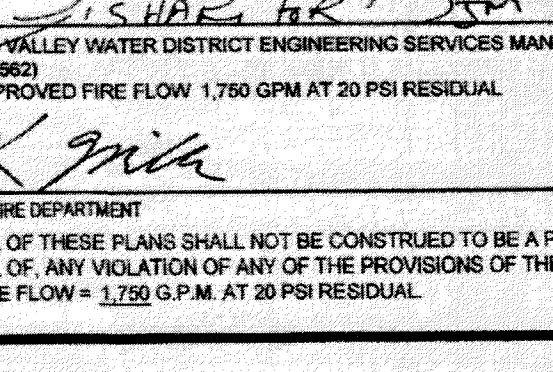
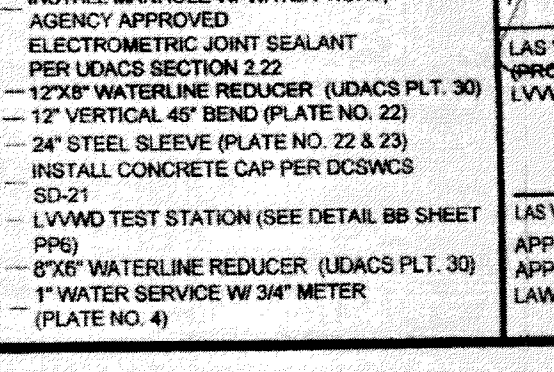
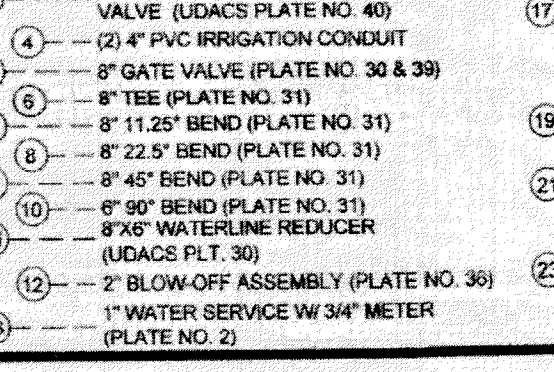
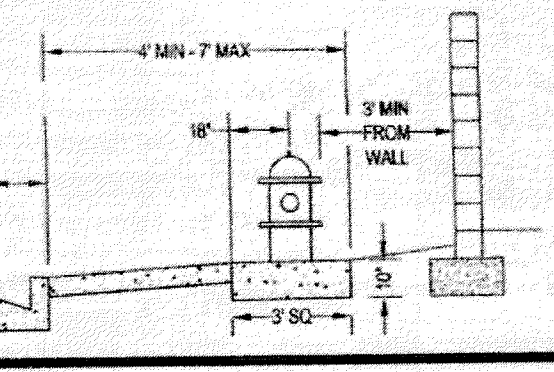
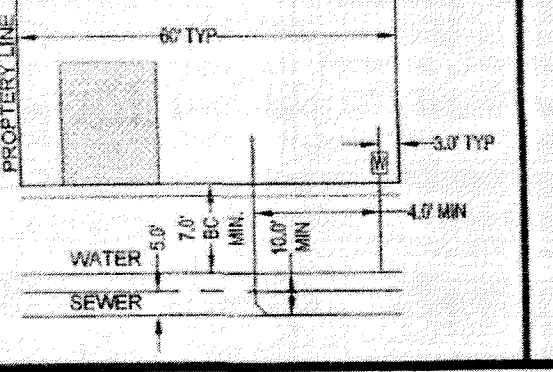
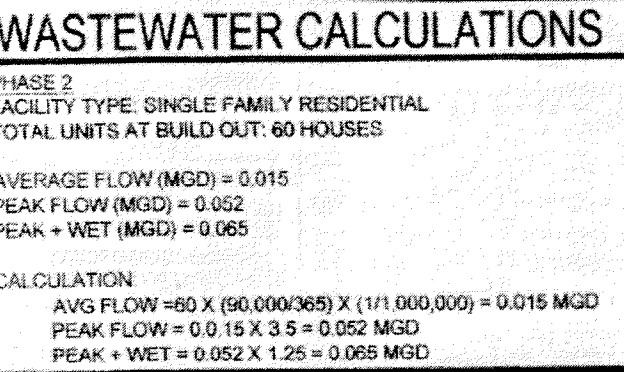
BASIS OF BEARINGS
NORTH 01°29'07" EAST, BEING THE BEARING OF THE WEST LINE OF SECTION 27, TOWNSHIP 20 NORTH, RANGE 59 EAST, M.D.M. CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN BOOK 147, PAGE 12 OF PLATS.

BENCHMARK
7LV092758: RIVET AND PLATE IN TOP OF CURB AT NE CORNER OF MOUNTAIN SHADOW ROAD AND DESERT FOOTHILLS ROAD. ELEV = 3025.31 FEET (1013.55 METERS) (NAVD83)

APPROVAL BLOCK
APPROVED FOR CONSTRUCTION
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER
LVVWD APPROVED FIRE FLOW 1,750 GPM AT 20 PSI RESIDUAL
LAS VEGAS FIRE DEPARTMENT
APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS. FIRE FLOW = 1,750 G.P.M. AT 20 PSI RESIDUAL.

FIRE FLOW CALCULATIONS
FIRE FLOW REQUIREMENT IS 1,750 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL.
BASED ON:
UNFURNISHED AREA: 3,435.92 SQ. FT.
AREA UNDER ROOF: 4,599.92 SQ. FT.
COURT AREA BETWEEN SEPARATE WALLS: N/A
HEIGHT: 35'
TYPE OF CONSTRUCTION: V-B
SPRINKLER SYSTEM: NO
HIGH PILED COMBUSTIBLE STORAGE: NO

WASTEWATER CALCULATIONS
PHASE 2
FACILITY TYPE: SINGLE FAMILY RESIDENTIAL
TOTAL UNITS AT BUILD OUT: 60 HOUSES
AVERAGE FLOW (MGD) = 0.015
PEAK FLOW (MGD) = 0.052
PEAK WET (MGD) = 0.065
CALCULATION
AVG FLOW = 60 X (60,000/365) X (1/100,000) = 0.015 MGD
PEAK FLOW = 0.015 X 3.5 = 0.052 MGD
PEAK WET = 0.052 X 1.25 = 0.065 MGD



ASBUILT

WILLIAM LYON HOMES
9000 S. JONES BLVD STEF 00
LAS VEGAS, NV 89135
(702) 263-5200 FAX: (702) 263-5220

SUMMERLIN VILLAGE 23B - PARCEL 2
ALLEGRA - PHASE 2
A RESIDENTIAL SUBDIVISION

UTILITY PLAN II

DATE: 6/1/2015
SCALE: 1"=30'
JOB NO: WLL 14-095
DESIGNED BY: SJW
CHECKED BY: RRC
SHEET NAME: UT2
SHEET: 17 OF 21
CLV H58714