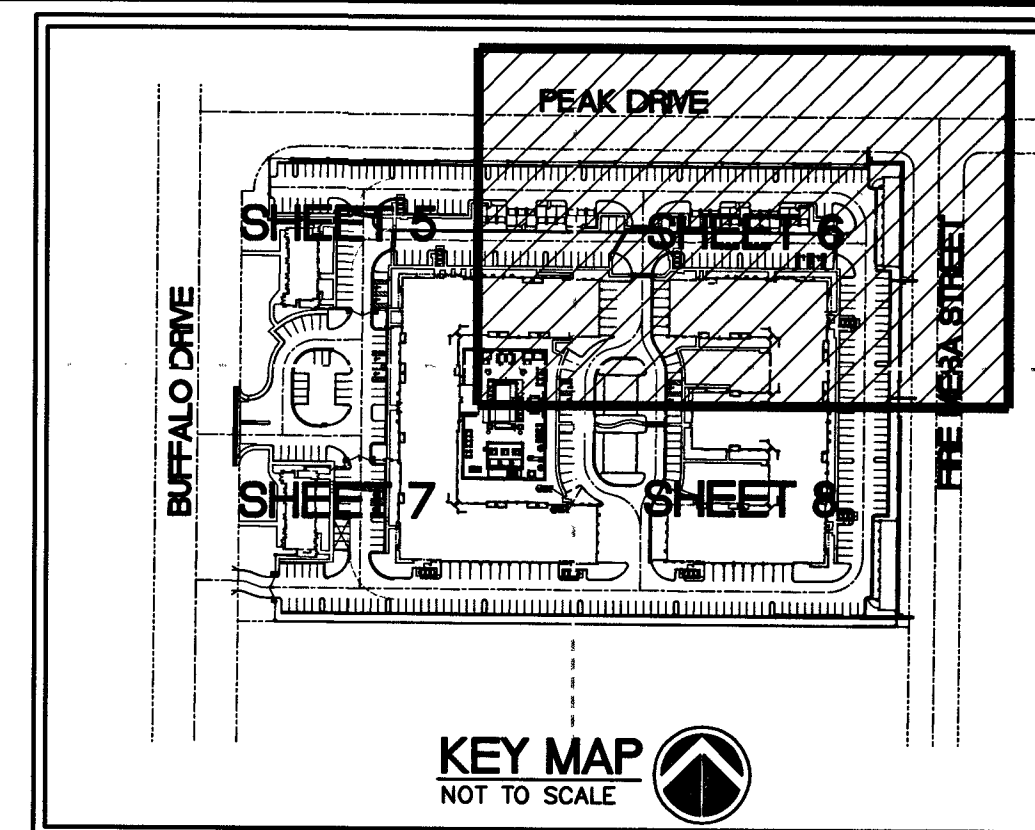
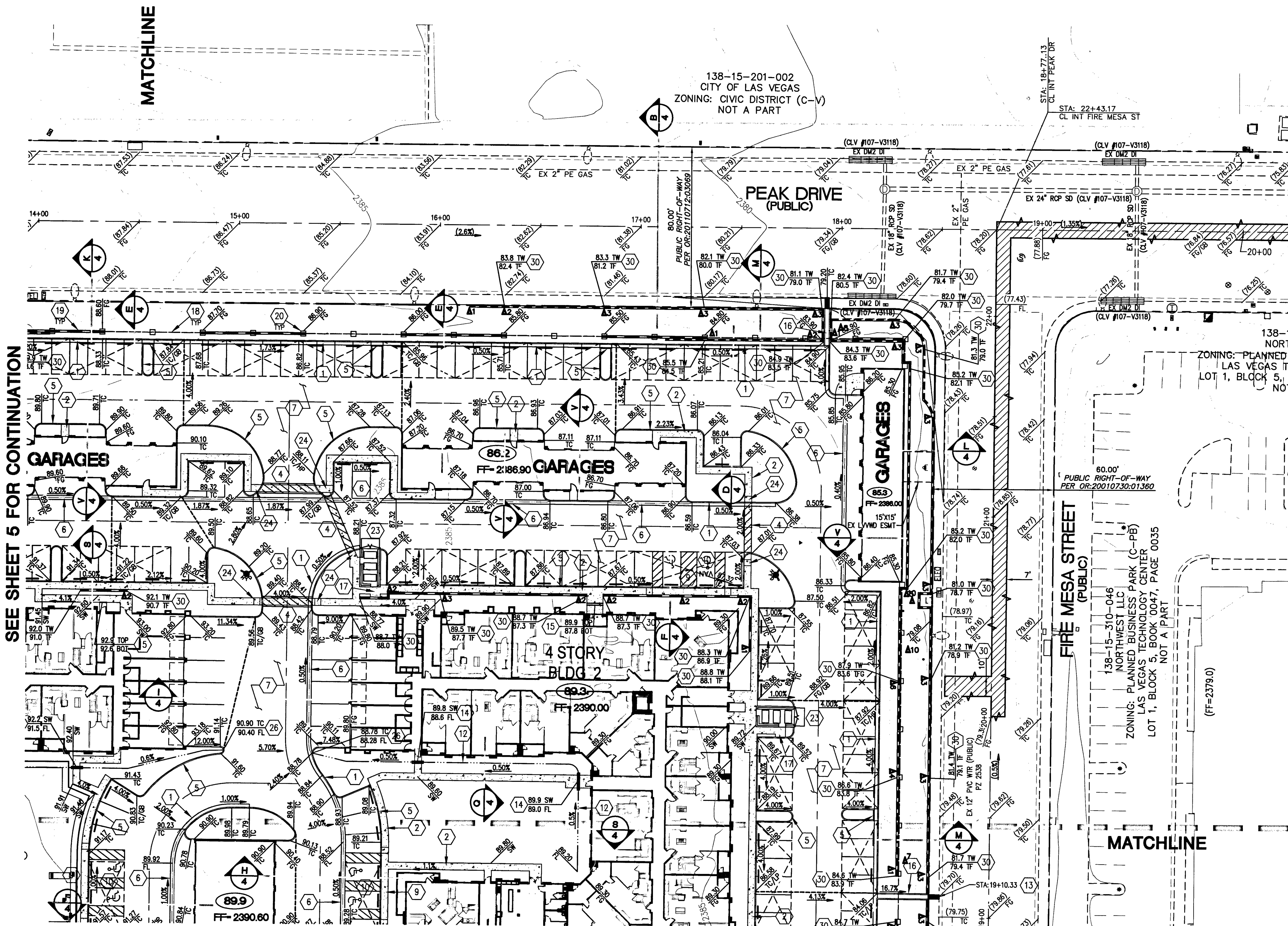




LEGEND	
	RIGHT OF WAY
	STREET CENTERLINE
	PROPERTY BOUNDARY LINE
	GRADE BREAK
	SWALE
	SAWCUT LINE
	EDGE OF EXISTING ASPHALT
	EXISTING CMU WALL
	EXISTING CHAIN LINK FENCE
	PROPOSED WROUGHT IRON FENCE
	PROPOSED LOW WALL WITH W.I. FENCE
	PROPOSED RETAINING WALL
	SWALE
	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	COVERED PARKING
	MATCH LINE
	AREA OF NEW AC
	AREA OF AC TO BE REMOVED & REPLACED

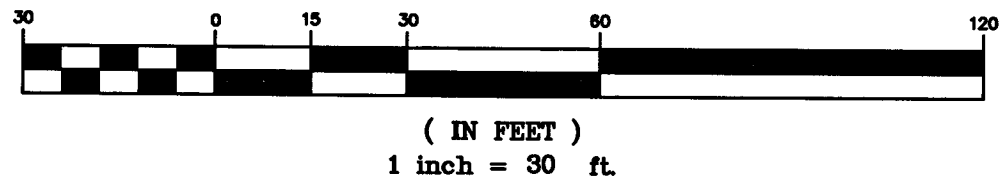
CONSTRUCTION NOTES

- CONSTRUCT "L" TYPE CURB PER C.C. AREA STD. DWG. #216
- CONSTRUCT 3.5' WIDE CONC. SIDEWALK PER C.C. AREA STD. DWG. #234
- CONSTRUCT 5' WIDE CONC. SIDEWALK PER C.C. AREA STD. DWG. #234
- INSTALL ADA CROSSING, SEE SECTION "H", SHEET 4
- CONSTRUCT TACK ON "A" CURB W/6" FACE PER DETAIL "F" SHEET 3
- CONSTRUCT 2' CONCRETE VALLEY GUTTER PER DETAIL "C" SHEET 3
- INSTALL 2" AC OVER 4" TYPE II AGG BASE PER SOLS REPORT & SHEET 4
- CONSTRUCT CASE I HANDICAP RAMP PER C.C. AREA STD. DWG. #235
- SEE ADA TABLE THIS SHEET FOR "A" & "B" VALUES
- CONSTRUCT HANDICAP RAMP PER DETAIL "G" SHEET 3
- CONSTRUCT HANDICAP LOADING ZONE PER DETAIL "I" SHEET 3
- CONSTRUCT 8" CROSS GUTTER PER C.C. AREA STD. DWG. #228
- CONSTRUCT EARTHEN SWALE PER DETAIL "B" SHEET 3
- CONSTRUCT SIDEWALK DRAIN PER C.C. AREA STD. DWG. #236
- CONSTRUCT SIDEWALK DRAIN PER DETAIL "H" SHEET 3
- CONSTRUCT STEPS PER DETAIL "O" SHEET 3
- CONSTRUCT "U" CHANNEL PER DETAIL "D" SHEET 3
- CONSTRUCT 5'x5' SIDEWALK TURNAROUND, SEE DETAIL "E" SHEET 3
- CONSTRUCT 6'-0" WROUGHT IRON FENCE, SEE DETAIL "L" SHEET 3
- CONSTRUCT LOW WALL WITH WROUGHT IRON FENCE, SEE DETAIL "Q" SHEET 3
- CONSTRUCT PILASTER, SEE DETAIL "K" SHEET 3
- CONSTRUCT SOLID DECORATIVE WALL, SEE DETAIL "S" SHEET 3
- CONSTRUCT TRASH ENCLOSURE PER DETAIL "A" SHEET 3
- CONSTRUCT HANDICAP RAMP PER DETAIL "J" SHEET 3
- EMERGENCY EGRESS, EXISTING CURB, GUTTER, & SW TO REMAIN, COVER WITH DG.
- CONSTRUCT CURB CUT PER DETAIL "P" SHEET 3
- SAWCUT EXISTING AC PAVEMENT, REMOVE AND MATCH EXISTING
- CONSTRUCT CASE II HANDICAP RAMP PER C.C. AREA STD. DWG. #236
- SEE ADA TABLE THIS SHEET FOR "A" & "B" VALUES
- INSTALL CRASH GATES PER COH FIRE DEPARTMENT REQUIREMENTS
- CONSTRUCT RETAINING WALL PER STRUCTURAL DETAILS BY OTHERS.
- COMMERCIAL AND MULTI-FAMILY DRIVE WAY GEOMETRY UNDER SEPARATE PERMIT.
- PROTECT IN PLACE AND ADJUST EXISTING UTILITY BOXES TO INCLUDE NEW CONCRETE COLLARS.
- CONSTRUCT 6'-0" WROUGHT IRON FENCE, SEE DETAIL "L" SHEET 3

SEE SHEET 8 FOR CONTINUATION



GRAPHIC SCALE



CUT/FILL QUANTITY

TOTAL PROJECT
CUT = 6,800 CY
FILL = 18,300 CY

THESE QUANTITIES ARE RAW QUANTITIES BASED ON THE DIFFERENCE BETWEEN DESIGN SUBGRADE AND EXISTING GROUND ONLY. THEY DO NOT ACCOUNT FOR SHRINKAGE OR SUBSIDENCE. CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN QUANTITIES.

PERIMETER WALL NOTE:

PERIMETER WALL SHALL CONSIST OF DECORATIVE BLOCK WITH 20% CONTRASTING MATERIAL AND CAP

RETAINING WALL NOTES:

- COURSES SHOWN ON THIS PLAN ARE COMPUTED BASED ON TOP OF RETAINING WALL (TRW) MINUS TOP OF FOOTING (TF). TOP OF FOOTING IS FINISHED GRADE AT THE FACE OF WALL MINUS 4 INCHES.
- RETAINING WALLS 5-FEET OR LESS MAY BE PAVEMENT STACKING BLOCK OR OWNER APPROVED EQUAL.
- RETAINING WALLS 4-FEET OR LESS MAY BE CONSTRUCTED PER CLARK COUNTY STANDARD DRAWING B-100-2 OR DESIGNED BY OTHERS.
- RETAINING WALLS GREATER THAN 4-FEET MUST BE DESIGNED BY OTHERS.
- ROCKERY RETAINING WALLS MUST BE DESIGNED BY OTHERS AND COMPLY WITH SOUTHERN NEVADA BUILDING OFFICIALS GUIDELINES.

RETAINING WALLS		
COURSE	HEIGHT	
A1	1	0.87
A2	2	1.33
A3	3	2.00
A4	4	2.67
A5	5	3.33
A6	6	4.00
A7	7	4.67
A8	8	5.33
A9	9	6.00
A10	10	6.67
A11	11	7.33
A12	12	8.00
A13	13	8.67
A14	14	9.33

ADA TABLE		
RAMP	"A"	"B"
R1	4.0'	12.5'
R2	9.5'	4.5'
R3	8.0'	8.0'
R4	8.0'	8.0'

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT DS-4699.

PETER J. LAAS, P.E. #14444
DATE 3/11/16

CLV# 107V5035
H#57782

FLOOD HAZARD ZONE

THE ENTIRE SUBJECT PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE "X" AS SHOWN ON FIRM MAP: 32003C2235
MAP REVISED: NOVEMBER 16, 2011
ZONE "X" DEFINED AS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

BENCHMARK

CITY OF LAS VEGAS BENCHMARK # QLV001864
RIVET & PLATE IN TOP OF CURB WEST SIDE OF BUFFALO +/- 200 FEET NORTH OF PEAK DRIVE
NAVD 88 DATUM
ELEVATION = 729.145 METERS
ELEVATION = 2392.20 U.S. SURVEY FEET

BASIS OF BEARINGS:

BEING A PORTION OF LOT 1, BLOCK 5 OF "LAS VEGAS TECHNOLOGY CENTER" AS SHOWN BY MAP THEREOF ON FILE IN BOOK 47, PAGE 35 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, NEVADA, LYING WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 15, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

CAUTION TO CONTRACTOR!

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



NOTE:

FOR QUANTITY ESTIMATES, SEE COVER SHEET. FOR STORMWATER MANAGEMENT NOTES, SEE SHEET 6

Call Before You Dig
1-800-227-2600
CLARK COUNTY TRAFFIC OPERATIONS
1-800-455-6000

Call before You UnderGround
1-702-455-6000
CLARK COUNTY TRAFFIC OPERATIONS
1-702-432-5300
FREEWAY AND ARTERIAL SYSTEM OF TRANSPORTATION



OVATION DEVELOPMENT
6021 SOUTH FORT APACHE ROAD, #100
LAS VEGAS, NEVADA 89148

DEVELOPER

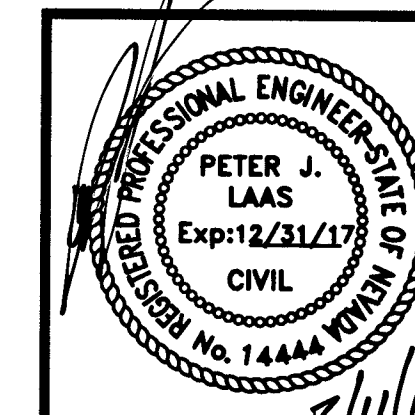
OVATION DEVELOPMENT
6021 S. FORT APACHE ROAD, #100
LAS VEGAS, NV 89148
702-990-2390 (PHONE)
702-990-2391 (FAX)

OWNER

BUFFALO PEAK APTS, LLC
C/O OVATION DEVELOPMENT
6021 S. FORT APACHE ROAD, #100
LAS VEGAS, NV 89148
(702) 990-2390 (PHONE)
(702) 990-2391 (FAX)

GRADING PLAN 2

BUFFALO-PEAK APARTMENTS
CITY OF LAS VEGAS, NEVADA



Impulse
Civil Engineering & Planning
SHEET 7 OF 19
DATE 07/05/15
SCALE 1"=30'