

**LEGEND**

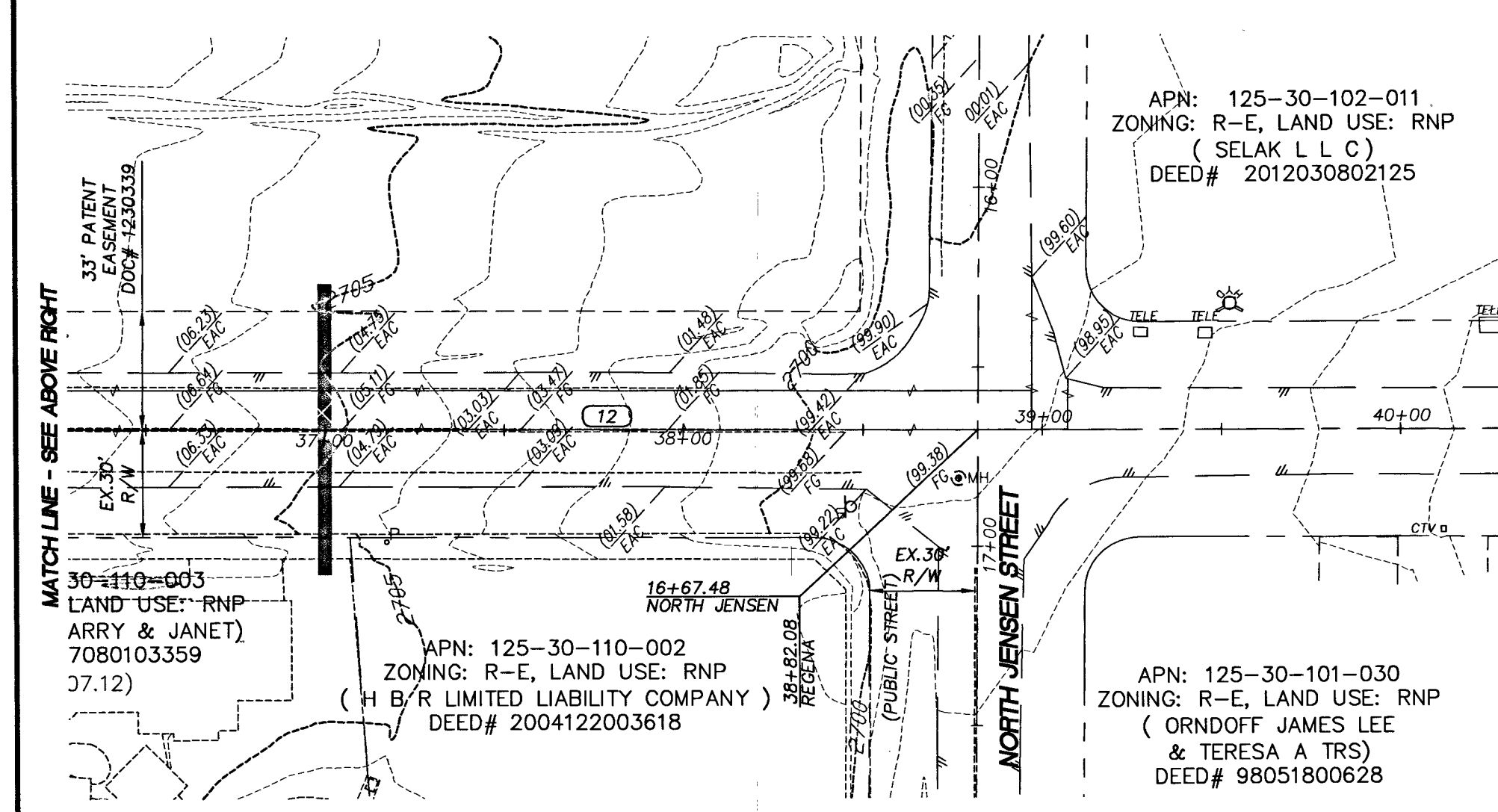
- PROPERTY LINE / RIGHT-OF-WAY
- "L" TYPE CURB AND GUTTER
- "A" TYPE CURB
- EXISTING CURB AND GUTTER
- PROPOSED WATER LINE (SIZE AS SHOWN)
- PROPOSED SEWER LINE (SIZE AS SHOWN)
- EXISTING UTILITY (AS SHOWN)
- CROSS GUTTER
- WHEELCHAIR RAMP
- CUT OR FILL SLOPE
- MATCH LINE
- PROPOSED ELEVATION (DESCRIPTION AS SHOWN)
- EXISTING ELEVATION (DESCRIPTION AS SHOWN)
- FUTURE DESIGN ELEVATION (DESCRIPTION AS SHOWN)
- TOP OF FOOTING
- TOP OF WALL
- TRW TOP OF RETAINING WALL
- EAC EDGE OF CONCRETE ASPHALT
- NG NATURAL GROUND
- C.E. COMMON ELEMENT/LOT
- ID LOT NUMBER
- FF PAD ELEVATION
- FINISHED FLOOR ELEVATION
- EXISTING PAVEMENT TO BE REMOVED AND REPLACED
- CUT / FILL LINES
- SIGHT VISIBILITY RESTRICTION ZONES PER STD. DWG. 201.1 (NOTHING OVER 24" IN HEIGHT ALLOWED IN SVZ EXCEPT TRAFFIC CONTROL DEVICES)
- 6' SCREEN WALL
- STEM WALL
- RETAINING WALL
- FENCE
- A.C. SAWCUT LINE
- EXISTING WALL
- WROUGHT IRON FENCE

**THOMASON CONSULTING ENGINEERS**  
 7080 LA CIENEGA STREET, SUITE 200  
 LAS VEGAS, NEVADA 89119  
 FAX: 702-932-6129  
 702-932-6125

PROJECT NO. 116.13004

SCALE: 1/4" = 1'-0"

DATE: 3/17/15



**CURVE TABLE**

CURVE	RADIUS	LENGTH	TANGENT	DELTA
C1	30.00	47.25	30.12	90°14'09"
C2	30.00	47.00	29.88	89°45'51"
C3	20.00	31.33	19.92	89°45'51"
C4	20.00	31.50	20.08	90°14'09"
C5	30.00	23.77	12.55	45°24'07"
C6	30.00	23.77	12.55	45°24'07"
C7	40.50	191.42	39.94	270°48'15"
C8	25.00	39.17	24.90	89°45'51"
C9	30.00	23.77	12.55	45°24'07"
C10	30.00	23.77	12.55	45°24'07"
C11	40.50	191.42	39.94	270°48'15"
C12	30.00	15.26	7.80	29°08'30"
C13	49.00	126.61	17.15	148°25'14"
C14	30.00	15.26	7.80	29°08'30"
C15	25.00	39.37	25.10	90°14'09"
C16	25.00	39.17	24.90	89°45'51"
C17	40.50	41.72	22.92	59°01'10"
C18	40.50	53.99	31.86	76°22'58"
C19	40.50	53.99	31.86	76°22'58"
C20	40.50	41.72	22.92	59°01'10"
C21	15.00	23.62	15.06	90°14'09"
C22	25.00	12.72	6.50	29°08'30"
C23	54.00	18.85	9.52	19°58'52"
C24	54.00	51.85	28.12	55°00'46"
C25	54.00	33.91	17.53	35°58'32"
C26	54.00	34.93	18.10	37°03'41"
C27	25.00	12.72	6.50	29°08'30"
C28	40.50	22.94	11.78	32°26'48"
C29	40.50	22.94	11.78	32°26'48"
C30	40.50	64.06	40.95	90°37'52"
C31	40.50	31.65	16.68	44°46'16"

**BONDABLE DRAINAGE QUANTITIES**

DESCRIPTION	QUANTITY	
	PUBLIC	PRIVATE
"L" TYPE CURB AND GUTTER PER CCAUSD 216	567 LF	---
8" VALLEY GUTTER	915 SF	1,307 SF
18" RCP STORM PIPE (CLASS III)	4 LF	---
NDOT HEADWALL	1 EA	---
SIDEWALK UNDERDRAIN	1 EA	---
DRAINAGE CONCRETE IN EASEMENT	9,168 S.F.	---
RIP-RAP	13 CY	---
3' CUT-OFF WALL	2 EA	---

- CONSTRUCTION NOTES**
- CONSTRUCT "L" TYPE CURB AND GUTTER PER CCAUSD 216
  - CONSTRUCT 30" ROLL CURB PER CCAUSD 217.51
  - CONSTRUCT 8" CROSS GUTTER PER CCAUSD 228
  - CONSTRUCT SIDEWALK PER CCAUSD 234
  - CONSTRUCT 10' CURB TRANSITION PER DETAIL SHEET D3
  - CONSTRUCT SIDEWALK RAMPS USING ARMOR TILE TRUNCATED DOMES OR EQUIVALENT PER CCAUSD NO. 235, CASE 1
  - ADJUST EXISTING UTILITIES & MANHOLES TO PROPOSED GRADE
  - INSTALL GROUTED CONCRETE RIPRAP D50=12", THICKNESS= 24"
  - CONSTRUCT REMOVABLE BOLLARDS @ 5' SPACING PER DETAIL SHEET D2
  - CONSTRUCT WROUGHT IRON GATE FLUSH WITH WALL AT PROPERTY LINE PER DETAIL CLV #218 DWG ON SHEET D2 (SEPARATE PERMIT THROUGH BUILDING DEPARTMENT.)
  - INSTALL RIPRAP D50=12", THICKNESS= 24"
  - SAWCUT, REMOVE AND MATCH EDGE OF EXISTING A.C. PAVEMENT OR EXISTING IMPROVEMENT.
  - CONSTRUCT SIDEWALK UNDERDRAIN PER CCAUSD 236 TO BE PRIVATELY MAINTAINED.
  - CONSTRUCT WROUGHT IRON FENCE WITH 5' MAN ACCESS GATE. SEPARATE PERMIT BY OTHERS.
  - EXISTING UTILITIES TO BE RELOCATED OR ADJUSTED TO GRADE. (NOTIFY GOVERNING AGENCIES BEFORE CONSTRUCTION) (SEE PLANS FOR LOCATION)
  - NOT USED
  - CONSTRUCT N-DOT CULVERT HEAD WALL PER R-2.5.1 SEE CULVERT DETAIL ON SHEET D2. INSTALL NDOT MODIFIED PEDESTRIAN RAIL ALONG THE TOP OF WALL.
  - INSTALL RIPRAP D50=8", THICKNESS= 16"
  - INSTALL TANGENT END GUARDRAIL WITH TYPE 2 MODIFIED POST AT UNDERGROUND OBSTRUCTIONS PER NDOT DRAWINGS R-8.1.1, R-8.3.2 AND DETAILS SHEET D3
  - CONSTRUCT CONCRETE CUT-OFF WALL AT END OF EASEMENT PER DETAIL ON SHEET D1
  - RECONSTRUCT EXISTING AC. SIDEWALK
  - REMOVE EXISTING SIGNS AND RETURN TO GOVERNING AGENCY OR RELOCATE EXISTING SIGNS.
  - CONSTRUCT 16"x48" BLOCK WALL OPENING PER DETAIL 19/03 ON SHEET D3.
  - CONSTRUCT WROUGHT IRON GATE FLUSH WITH WALL AT PROPERTY LINE PER DETAIL 17/01 ON SHEET D1. (SEPARATE PERMIT THROUGH BUILDING DEPARTMENT.)

- STORMWATER MANAGEMENT NOTES**
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, ACCUMULATED IN, THE PUBLIC RIGHTS OF WAY OF THE CITY OF LAS VEGAS. AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM DRAIN SYSTEM.
  - ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED BY THE OWNER AND HIS/HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE TITLE 24.40 AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BMP GUIDANCE MANUAL.
  - TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICAL AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS APPLY; REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.5.
  - AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS, AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER ANY RAIN EVENT OF 0.5 INCHES OR MORE. THE CONTRACTOR OR HIS AGENT SHALL UPDATE AND MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS ANY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.12.
  - ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

**PRIVATE STREET NOTE**  
 ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY HOA.

**FOR ALL GRADING AND STREET SECTIONS SEE DETAIL SHEET D1 AND D2. FOR ALL NOTES SEE GENERAL NOTES SHEET C3.**

**DISCLAIMER NOTE**  
 EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS.  
 NOTIFY ENGINEER IMMEDIATELY IF DISCREPANCIES ARE ENCOUNTERED.

**BENCHMARK**  
 CITY OF LAS VEGAS BENCHMARK 6LV89 24SE4  
 A RIVET AND PLATE IN THE TOP OF CURB AT THE NORTHWEST CORNER OF CENTENNIAL PARKWAY AND HUALAPAI WAY.  
 ELEVATION=844.924 METERS (NAVD'88)  
 ELEVATION=2772.06 US SURVEY FEET (NAVD'88)

**BASIS OF BEARING**  
 NORTH 88°58'34" EAST, BEING THE BEARING OF THE NORTH LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 25, TOWNSHIP 19 SOUTH, RANGE 59 EAST M.D.M., AS SHOWN IN FILE 114, PAGE 57 OF SURVEYS ON FILE AT THE CLARK COUNTY, NEVADA RECORDER'S OFFICE

**BONDABLE DRAINAGE QUANTITIES SEE SHEET G1**

**FAST UnderGround**  
 1-702-432-5300

**Call before you Dig**  
 1-800-227-2600

**FLOOD ZONE**  
 THIS SITE IS LOCATED WITHIN FLOOD ZONE X, WHICH IS SPECIFIED AS "AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODPLAIN" FROM MAP NUMBER 3200303745 E LOMR DATED SEPTEMBER 27, 2002.

**APPROVED FOR CONSTRUCTION**  
 DISHNER  
 LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER  
 PROJECT NO. 122283 DATE: 3/17/15

**CERTIFICATION**  
 I HEREBY CERTIFY THAT THE GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE WITH CITY OF LAS VEGAS PUBLIC WORKS FOR THIS PROJECT. - DS # 4617  
 JOHN B. MCAVOY, P.E. # 22439 DATE: 3-17-15

**LENNAR HOMES**  
 2490 PASEO VERDE PARKWAY, SUITE 120, HENDERSON, NV, 89074  
 FAX: (702) 458-7700

**CENTENNIAL AND CONQUISTADOR GRADING PLAN 2**

SHEET **G2** OF 21  
 DRAWING NO. 107Y5022  
 H# 55906