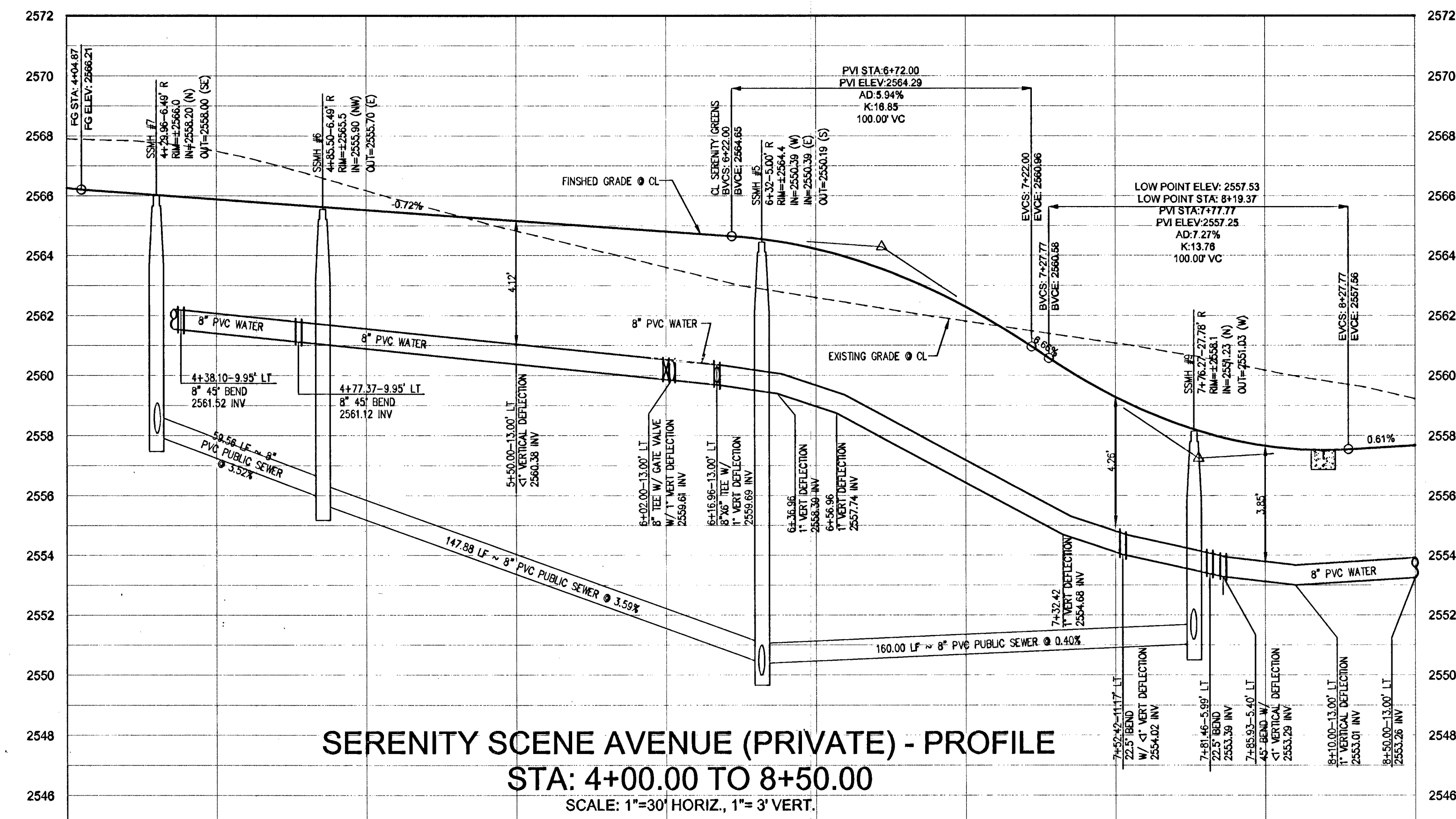
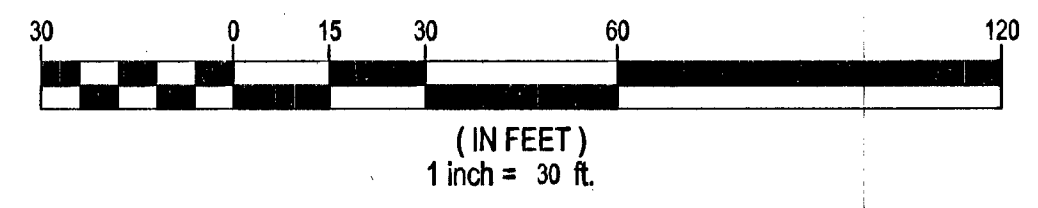


SERENITY SCENE AVENUE (PRIVATE) - PLAN
 STA: 4+00.00 TO 8+50.00



SERENITY SCENE AVENUE (PRIVATE) - PROFILE
 STA: 4+00.00 TO 8+50.00
 SCALE: 1"=30' HORIZ., 1"= 3' VERT.



TRAFFIC NOTE

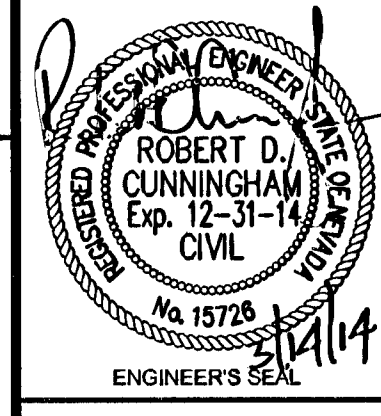
REPLACE ALL TRAFFIC CONTROL DEVICES (SIGNS OR PAVEMENT MARKINGS), UNDER CLARK COUNTY JURISDICTION, THAT ARE DISTURBED, DESTROYED, MOVED OR MODIFIED BY TRENCHING ACTIVITIES TO CLARK COUNTY SATISFACTION. ALL MATERIALS USED SHALL MEET CLARK COUNTY'S SPECIFICATIONS, OR WILL BE APPROVED EQUIVALENT.

WATER MAIN JOINT DEFLECTION

(PVC 4" x 24")
 PVC PIPE SHALL BE DEFLECTED AT THE JOINT ONLY. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE ONE (1) DEGREE PER JOINT WITH A MAXIMUM RADIUS OF CURVATURE OF 1,150 FEET, PER UDACS 2.07.01 AND 2.07.02.
 FOR CHANGES IN DIRECTION EXCEEDING THE MAXIMUM ALLOWABLE JOINT DEFLECTION, FITTING SHALL BE USED.

LVVWD APPROVAL

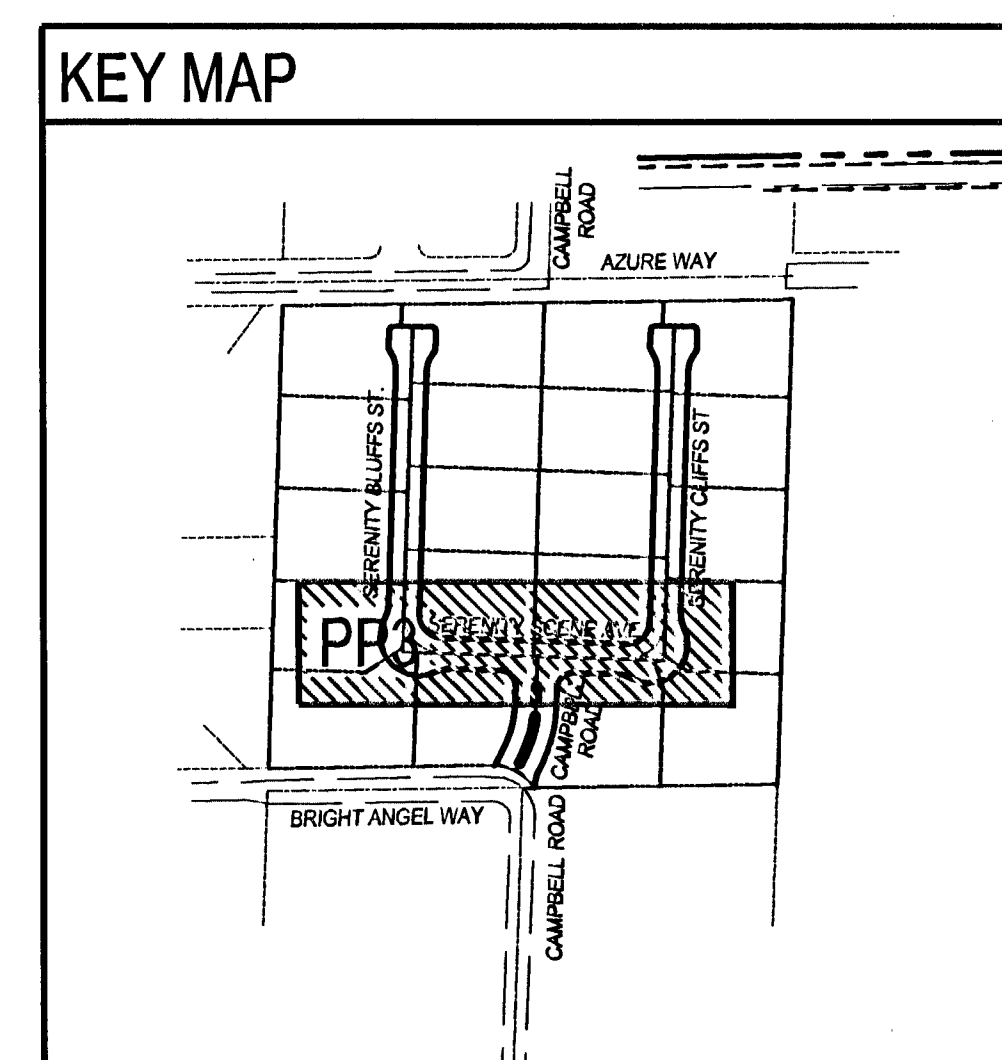
Joseph Morgan
 LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER
 DATE: 3-23-14 (PROJ# 121662)
 LVVWD APPROVED FIRE FLOW 2,000 GPM @ 20 PSI RESIDUAL



**CLARK COUNTY
 DEPARTMENT OF PUBLIC WORKS
 DEVELOPMENT REVIEW**
 ACCEPTANCE OF PLANS FOR FILING

BY: _____ DATE: _____
 CLARK COUNTY DEPARTMENT OF PUBLIC WORKS
 ACCEPTANCE OF THESE PLANS FOR FILING SHALL NOT BE CONSTRUED TO BE A PERMIT FOR OR AN APPROVAL OF ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS AND/OR SPECIFICATIONS. CLARK COUNTY SHALL BE HELD FREE FROM DAMAGES WHICH MAY RESULT FROM THE CONSTRUCTION OF THE IMPROVEMENTS FROM THE ENGINEERING DESIGN DEPICATED HEREIN.
 NOTE: POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO CLARK COUNTY.

DATE: 3/14/14
 SCALE: 1" = 30'
 JOB NO: WLL-13-075
 DESIGNED BY: DRL
 CHECKED BY: AM
 SHEET NAME: PP3
 SHEET: 9 OF 17
 HTE# 13-39191 / RUC504
 CLV# 30711082



CONSTRUCTION NOTES

- 1 --- 24" L-TYPE CURB & GUTTER (PER USD #216)
- 2 --- 30" ROLL CURB (PER USD #217A)
- 3 --- CONSTRUCT 10" CURB TRANSITION FROM 1" TYPE CURB TO 30" ROLL CURB (PER DETAIL SHEET GD2)
- 4 --- 8" CROSS GUTTER (PER USD #228)
- 5 --- SAWCUT & MATCH EXISTING AC PAVEMENT (PER CCAUSD #500.4, 500.5 & 503)
- 6 --- 2" AC W/ 4" TYPE II OVER 5 1/2" TYPE I AGGREGATE BASE (PER HTE# 13-42235)
- 7 --- 3" AC W/ 4" TYPE II OVER 5 1/2" TYPE I AGGREGATE BASE (PER HTE# 13-42235)
- 8 --- CONSTRUCT AC SWALE MATCHING INTO EXISTING GRADE
- 9 --- CUT-OFF WALL TO MATCH INTO GATE VALVE CONCRETE COLLAR (PER DETAIL Z, SHEET GD2)
- 10 --- WROUGHT IRON GATE (PER DETAIL S, SHEET GD2)
- 11 --- INSTALL CUT-OFF WALL (L-3.5), SEE DETAIL ZGD2
- 12 --- CONSTRUCT 10" CURB TRANSITION FROM 30" ROLL CURB TO ZERO CURB (PER DETAIL W, SHEET GD2)
- 13 --- CONSTRUCT 48"x18" BLOCK WALL OPENING (PER DETAIL V, SHEET GD2)
- 14 --- CONSTRUCT 3"x7" RIPRAP PAD (PER DETAIL Q, SHEET GD2)
- 15 --- INSTALL REMOVEABLE BOLLARDS (UDACS PLATE NO. 75), SEE DETAIL AA/GD2
- 16 --- CONSTRUCT 2" WIDE CONCRETE BAND (PER DETAIL AA, SHEET GD2)

GEO TECHNICAL

GEO TEK RESIDENTIAL, LLC
 8835 SOUTH ESCONCADO STREET, SUITE B REPORT NO: 11090-LVR8
 LAS VEGAS, NEVADA 89119 DATE 02/21/2013
 702-897-1424

UTILITY DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS.
 CALL BEFORE YOU DIG: 1-800-227-2600
 CALL BEFORE YOU OVERHEAD: 1-702-227-2929

GRADING NOTES

COMPLETION OF SECTION II OF DRAINAGE COMPLIANCE REPORT REQUIRED.
 ADD 2500 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.
 THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.
 ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).
 ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFF-SITE OWNER AND GIVEN TO CLARK COUNTY.
 CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

LEGAL DESCRIPTION

THE EAST HALF (E1/2) OF THE NORTHWEST QUARTER (NE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) AND THE WEST HALF (W 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 28, TOWNSHIP 19 SOUTH, RANGE 60 EAST AS SHOWN ON FIG. 107, PAGE 31 OF SURVEYS IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER
 ELEVATION 789.684M/2590.82FT (NAVD 88 DATUM)

BENCHMARK

8LV9029W4 - CITY OF LAS VEGAS PIN AND ROUND PLATE IN CONCRETE PAD, SOUTHEAST CORNER OF TROPICAL PKWY. AND FT. APCHED RD. +/-50' EAST OF FT. APACHE RD.

BASIS OF BEARINGS

NORTH 89°18'17" EAST, BEING THE NORTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (SW 1/4) SECTION 28, TOWNSHIP 19 SOUTH, RANGE 60 EAST AS SHOWN FILE 107, PAGE 31 OF SURVEYS IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER

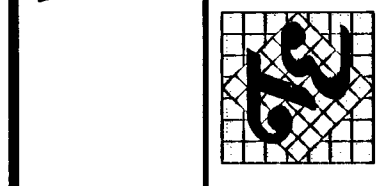
Call Before You Dig
 AVOID HITTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
 CALL 811
 1-800-227-2600
 AND
 CLARK COUNTY TRAFFIC OPERATIONS
 1-800-455-7544

UnderGround
 1-702-455-7511
 CLARK COUNTY TRAFFIC OPERATIONS
 1-702-229-6811
 LAS VEGAS AREA COMPUTERIZED TRAFFIC SYSTEM

Call Before You Dig
 AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY.
 CALL BEFORE YOU DO OVERHEAD
 1-702-227-2929

NO.	DESCRIPTION	REVISIONS	SHFS.	APPR.	DATE

WILLIAM LYON HOMES
 500 PLOTT ROAD, STE #G
 LAS VEGAS, NV 89119
 (702) 283-6200 FAX: (702) 283-6220



TANEY ENGINEERING
 6000 S. JONES BLVD STE# 100
 LAS VEGAS, NV 89119
 (702) 386-8664 FAX: (702) 386-8233

BRIGHT ANGEL AND CAMPBELL
 A RESIDENTIAL SUBDIVISION
 SERENITY SCENE AVENUE
 STA: 4+00.00 TO 8+50.00
 PLAN & PROFILE