

IMPROVEMENT PLANS

FOR
CRIMSON RIDGE - UNIT 2
 (RANCHO ALTA MIRA LOT 7)

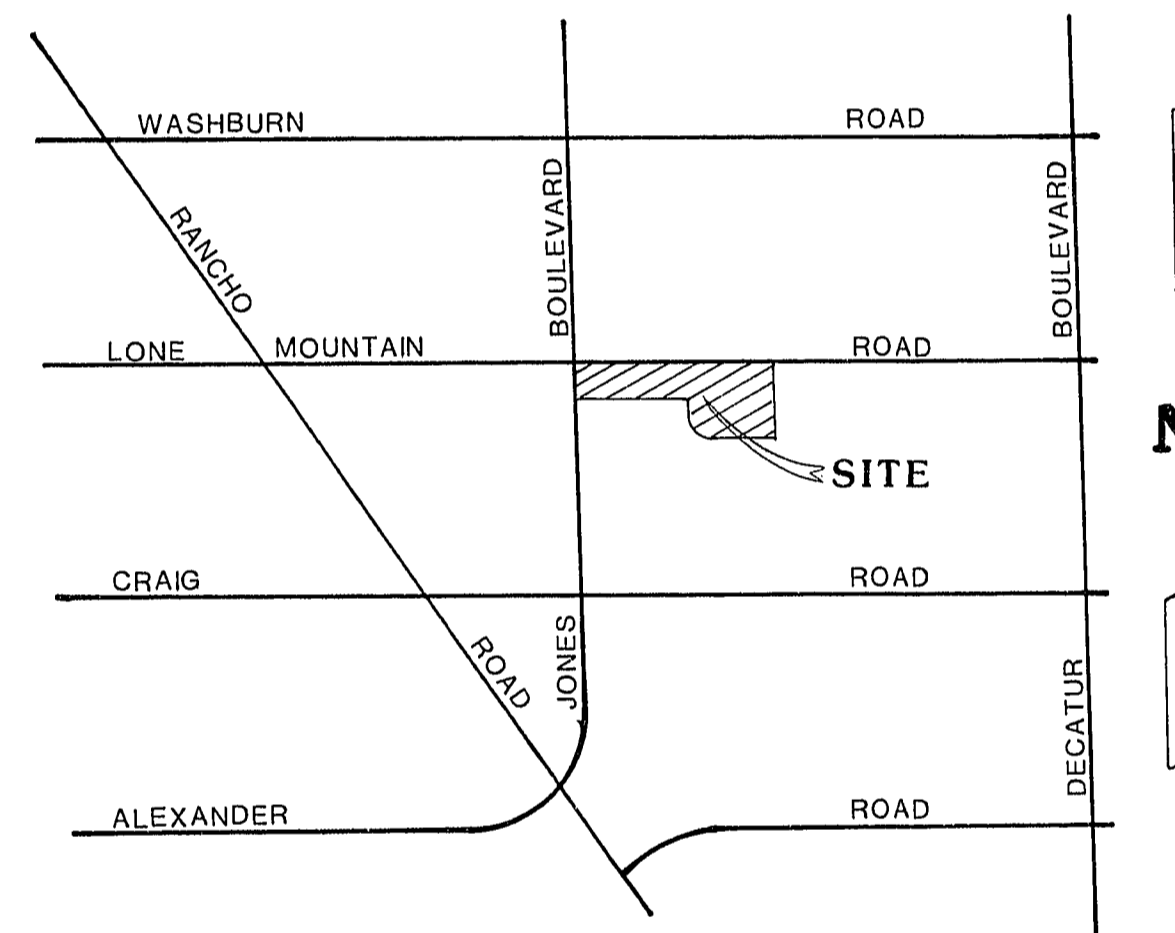
CITY OF LAS VEGAS
 STATE OF NEVADA

APPROVAL

for Charles D. Cook
 GARY A. PRESSWOOD, P.E.
 LAS VEGAS CITY ENGINEER

11/19/90
 DATE

DEVIATIONS FROM STANDARDS:
 50' WIDE STREET WITH 30" ROLL
 CURB ON SHEETS 4, 5 AND 6.



VICINITY MAP

SHEET INDEX

1. COVER SHEET
2. ROUGH GRADING PLAN - WEST HALF
3. ROUGH GRADING PLAN - EAST HALF
4. STREET PLAN & PROFILE - SIENNA DRIVE, BLUSH AVENUE
5. STREET PLAN & PROFILE - CRIMSON RIDGE DRIVE, DUSTY ROSE LANE
6. STREET PLAN & PROFILE - TERRA ROSA DRIVE, RED BLUFF DRIVE
7. MASTER UTILITY PLAN - WEST HALF
8. MASTER UTILITY PLAN - EAST HALF
9. SEWER PLAN & PROFILE - SIENNA DRIVE, BLUSH AVENUE
10. SEWER PLAN & PROFILE - CRIMSON RIDGE DRIVE, DUSTY ROSE LANE
11. SEWER PLAN & PROFILE - RED BLUFF DRIVE

GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA", LATEST ISSUE; THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CITY OF LAS VEGAS"; ANY OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY; THE UNIFORM BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET.
2. EXISTING UTILITIES ARE LOCATED ON THE PLANS FROM THE BEST AVAILABLE INFORMATION AT THE TIME PLANS WERE PREPARED AND ARE SHOWN ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE PHYSICAL LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS OR NOT IN THE LOCATION SHOWN ON PLANS. EXISTING UTILITY SERVICE LATERALS ARE NOT SHOWN ON THE PLANS.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS, WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE. ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF CONTRACTOR.
4. A. C. PAVEMENT TO BE 0.5" ABOVE THE LIP OF GUTTER AFTER COMPACTION UNLESS OTHERWISE SHOWN.
5. TYPE V CEMENT SHALL BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE TO BE DESIGNED FOR A 5.5 SACK MIX WITH A MAXIMUM WATER/CEMENT RATIO OF 0.45 (OR AS DESIGNED BY THE SOILS ENGINEER). MIX DESIGN TO BE APPROVED BY THE QUALITY CONTROL DIVISION PRIOR TO USE ON THE PROJECT.
6. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY ALTERATIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
7. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
8. CURB AND GUTTER WITH A GRADE OF LESS THAN FOUR TENTHS OF ONE PERCENT SHALL BE CONSTRUCTED BY FORMING. EACH JOINT SHALL BE CHECKED FOR GRADE PRIOR TO CONSTRUCTION AND WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION.
9. WHEELCHAIR RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER STANDARD DRAWING #235. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
10. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER OR PER THESE PLANS.
11. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORD WITH N.R.S. STATUTE NUMBER 625.550.
12. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO SAID CONSTRUCTION. EXTENT OF TRANSITIONS TO BE DETERMINED BY THE CITY ENGINEER AND AS SHOWN ON THE PLANS.

BENCHMARK

BM #2-5-107
 1"6" DIAMETER CONCRETE MONUMENT, 78.20 FEET EAST AND
 48.10 FEET NORTH OF THE NORTHWEST QUARTER CORNER
 OF SECTION 6 MARKED BY A 4"x4" WHITE POST AT LONE
 MOUNTAIN ROAD AND ALLEN LANE.

ELEVATION: 2188.43

vtm nevada
 ENGINEER'S STAMP

Gregory D. Paul's
 6/18/90

REV	DATE	BY	REVISION

R.S. DEVELOPMENT
 CITY OF LAS VEGAS

CONSULTING ENGINEERS - PLANNERS
 2300 PASEO DEL PRADO BUILDING A SUITE 100
 LAS VEGAS, NEVADA 89102 PHONE (702) 873-7550

vtm nevada

COVER SHEET

PROJECT
CRIMSON RIDGE - UNIT 2
 (RANCHO ALTA MIRA LOT 7)

NO. 3890-2
 BY RPF
 DATE JUN 1990
 SCALE NONE

SHEET
1
 OF 11 SHEETS
 107Y-4085-2