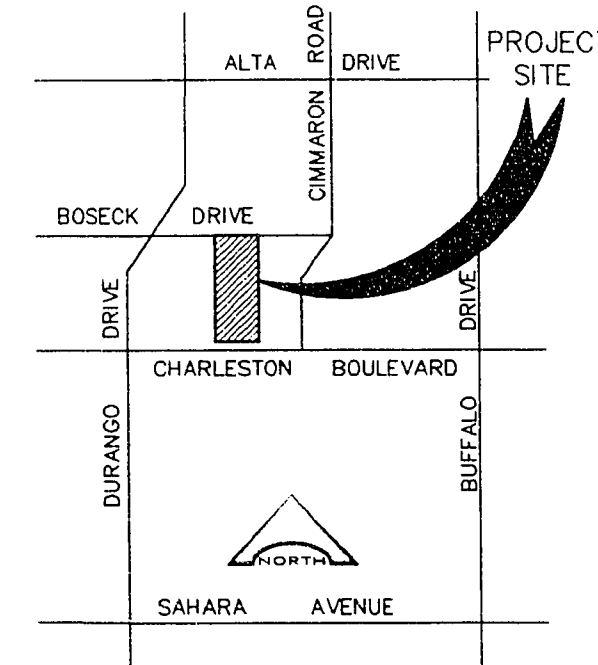


CALICO CANYON APARTMENTS

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA NEVADA", LATEST ISSUE; THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION", CLARK COUNTY AREA NEVADA", AND OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY; THE UNIFORM BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS DEVIATIONS FROM STANDARDS.
- THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND, GAS AND/OR OTHER UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY OR OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- TYPE V CEMENT SHALL BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE TO BE 3000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGN TO BE APPROVED BY THE QUALITY CONTROL DIVISION PRIOR TO USE ON THE PROJECT.
- PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT OF WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
- EXPANSION JOINTS REQUIRED, MAXIMUM EVERY 300' IN EXTRUDED TYPE CURB.
- AC PAVEMENT TO BE IN 1/2" ABOVE LIP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT SIDEWALK RAMPS.
- APPLY FOG SEAL ONLY AFTER ALL CORRECTIONS AND ADJUSTMENTS HAVE BEEN MADE.
- CURB AND GUTTER WITH A GRADE OF LESS THAN FOUR TENTHS OF ONE PERCENT SHALL BE WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION. ANY CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY SHALL BE REMOVED AND REPLACED.
- SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER STANDARD DRAWING 235. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS OR AS DESIGNATED IN THE FIELD BY A CITY INSPECTOR.
- ALL GRADING WORK SHALL CONFORM TO SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
- EXACT LOCATION OF ALL SAWCUT LINES MAY BE DETERMINED IN THE FIELD BY A CITY OF LAS VEGAS INSPECTOR IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORD WITH N.R.S. STATUTE NO. 629.550.
- UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC. SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND VALLEY GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY, AND THE CITY ENGINEER.
- WALL NOTES:
A. ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN FOR THE PURPOSE OF GRADING RELATIONSHIPS.
B. THE STRUCTURAL AND ARCHITECTURAL DESIGN OF ALL WALLS (RETAINING OR NON-RETAINING) MUST BE APPROVED BY THE CLV BUILDING DEPARTMENT.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT ON CITY STREETS.



VICINITY MAP

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	HORIZONTAL CONTROL - NORTH
SHEET 3	HORIZONTAL CONTROL - SOUTH
SHEET 4	GRADING PLAN - NORTH
SHEET 5	GRADING PLAN - SOUTH
SHEET 6	WATER PLAN - NORTH
SHEET 7	WATER PLAN - SOUTH
SHEET 8	SEWER PLAN - NORTH
SHEET 9	SEWER PLAN - SOUTH
SHEET 10	PLAN & PROFILE - BOSECK DRIVE

LEGAL DESCRIPTION

ALL OF GOVERNMENT LOTS 55 AND 58 SITUATE IN THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 33, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA. EXCEPTING THEREFROM THE SOUTHERLY FIFTY FEET (50.00') OF GOVERNMENT LOT 58 FOR ROADWAY PURPOSES, DEDICATED PER DOCUMENT 881215:00273, CLARK COUNTY RECORDS.

BASIS OF BEARINGS

THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 33, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, ALSO BEING THE CENTERLINE OF CHARLESTON BOULEVARD BEARS SOUTH 89°39'53" WEST PER PARCEL MAP: FILE 70, PAGE 24, OFFICIAL RECORDS OF CLARK COUNTY, NEVADA.

BENCHMARK

QLV00-32SES
ELEVATION = 2660.524
CITY OF LAS VEGAS VERTICAL CONTROL (20-60-SW B)

RIVET AND PLATE IN TOP OF CURB, NORTHEAST RETURN OF CHARLESTON BOULEVARD AND DUANGO DRIVE.

DEVELOPER & OWNER

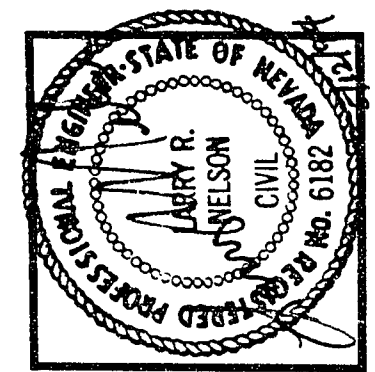
ROBERT V. JONES, CORPORATION
4041 EAST SUNSET ROAD
HENDERSON, NEVADA 89014
(702) 435-9553

ENGINEER

L.R. NELSON CONSULTING ENGINEERS, INC.
3035 EAST PATRICK LANE SUITE 9
LAS VEGAS, NEVADA 89120
(702) 798-7978

APPROVALS

[Signature] 8-29-94
DENNIS ANDERSON, P.E. - CITY ENGINEER, CITY OF LAS VEGAS DATE



DESIGNED BY:	DRAMAN BY:	PA:	CREATED BY:
JOB NUMBER: 218-037-942	DATE: 5-11-94		
REVISION	NO.	DATE	APPL.

L. R. NELSON CONSULTING ENGINEERS, INC.
 • STRUCTURAL 3035 East Patrick Lane Suite 9 89120
 • CIVIL Las Vegas, Nevada
 • SURVEY (702) 798-7978
 (702) 451-2296 FAX

COVER SHEET
CALICO CANYON APARTMENTS
 LAS VEGAS
 ROBERT V. JONES CORP.
 NEVADA

SHEET NUMBER
1
 OF 10 SHEETS

DRAWING NAME: CVR LATEST REVISION DATE: 5-11-94