

CONSTRUCTION NOTES

- ## GEOTECHNICAL

SCALE

(IN FEET)
1 inch = 40 ft.

LEGAL DESCRIPTION

BASIS OF BEARINGS

BENCHMARK

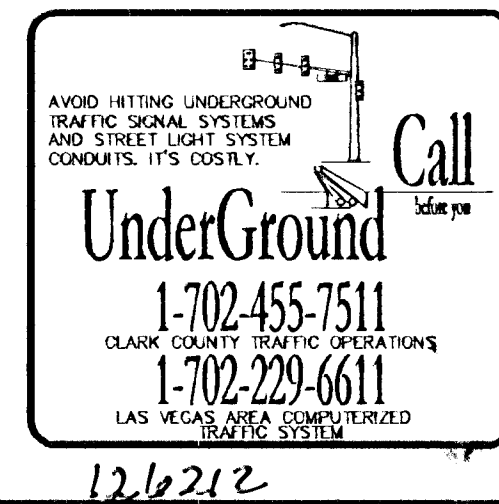
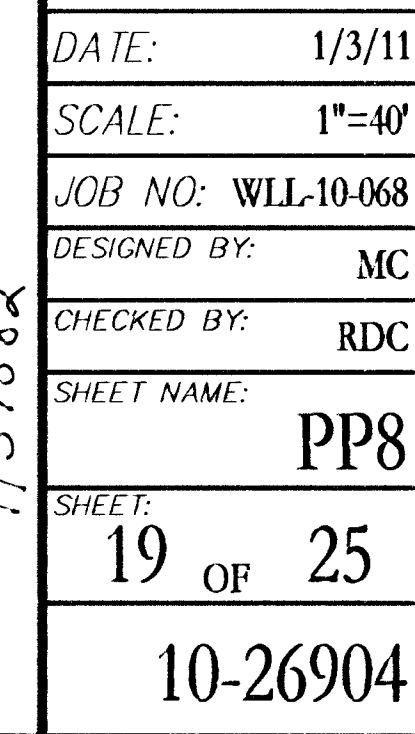
ABBREVIATIONS

[illegible]

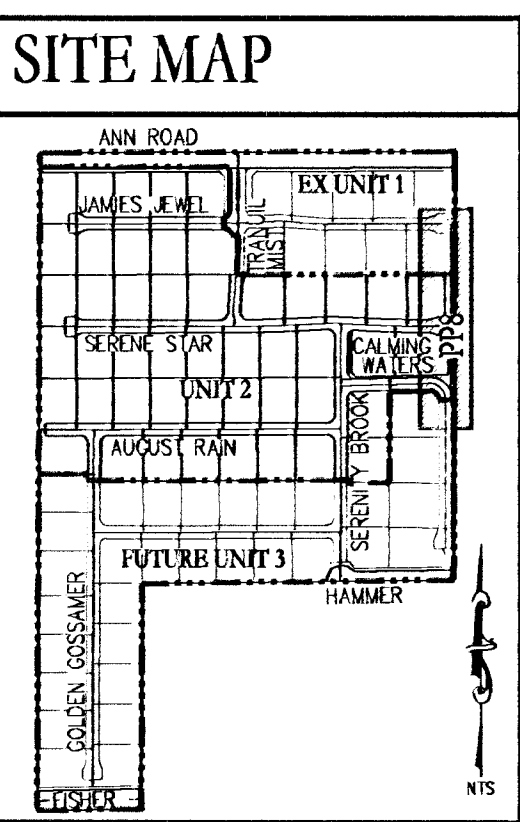
ANEY ENGINEERING
6030 S. JONES BLVD STE# 100
LAS VEGAS, NV 89118
(702) 362-8844 FAX: (702) 362-5233

ANN AND GRAND CANYON - UNIT 2
(SERENITY RIDGE)

SEWER AND DRAINAGE EASEMENT
STA: 27+50.00 TO 33+25.00
PLAN AND PROFILES



APPROVAL BLOCK	
ACCEPTANCE OF PLANS FOR FILING	
By: <i>Don Ochlin</i> 2-21-2011	DATE
CLARK COUNTY DEPARTMENT OF PUBLIC WORKS	
ACCEPTANCE OF THESE PLANS FOR FILING SHALL NOT BE CONSIDERED TO BE A PERMIT FOR OR AN APPROVAL OF ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS AND/OR SPECIFICATIONS. CLARK COUNTY SHALL BE HELD FREE FROM DAMAGES WHICH MAY RESULT FROM THE CONSTRUCTION OF THE IMPROVEMENTS FROM THE ENGINEERING DESIGN DEPICTED HEREIN.	
NOTE: POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO CLARK COUNTY.	



GRADING NOTES

ADD 2600 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.

THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE, DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.

ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).

ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO CLARK COUNTY.

CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

