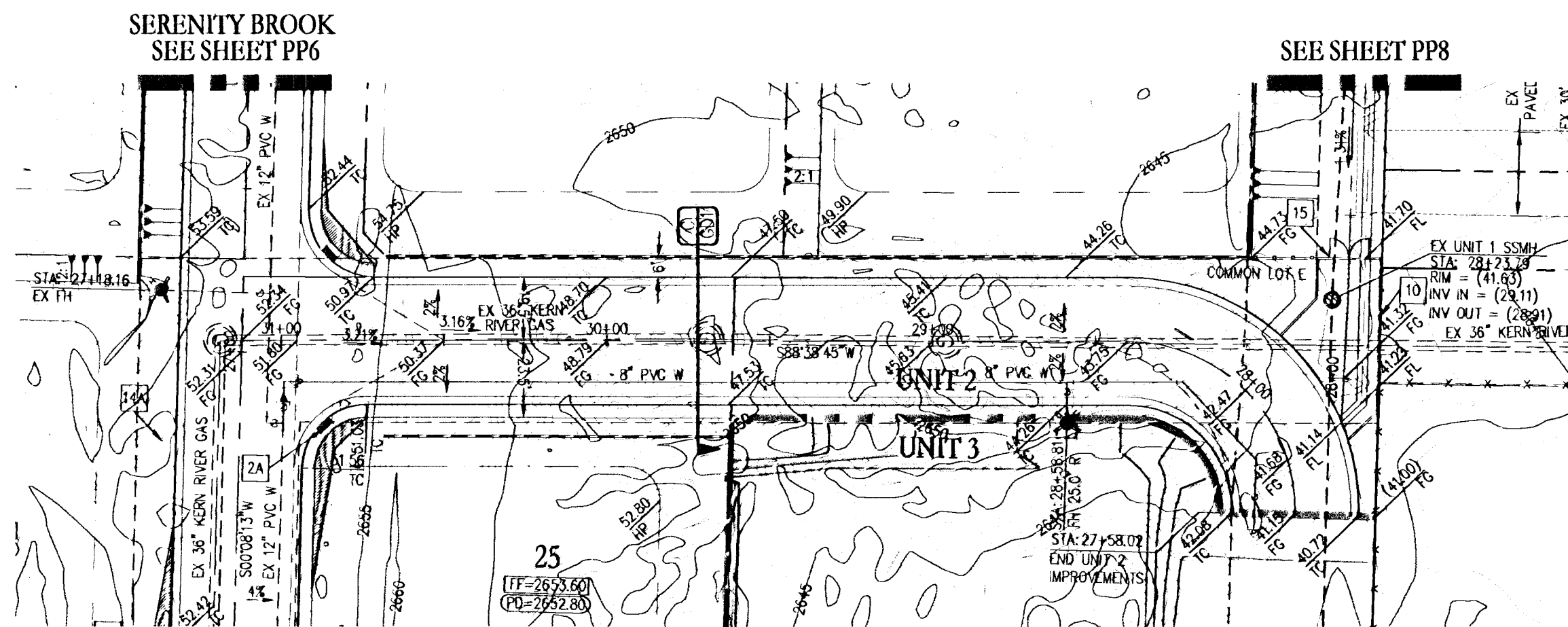
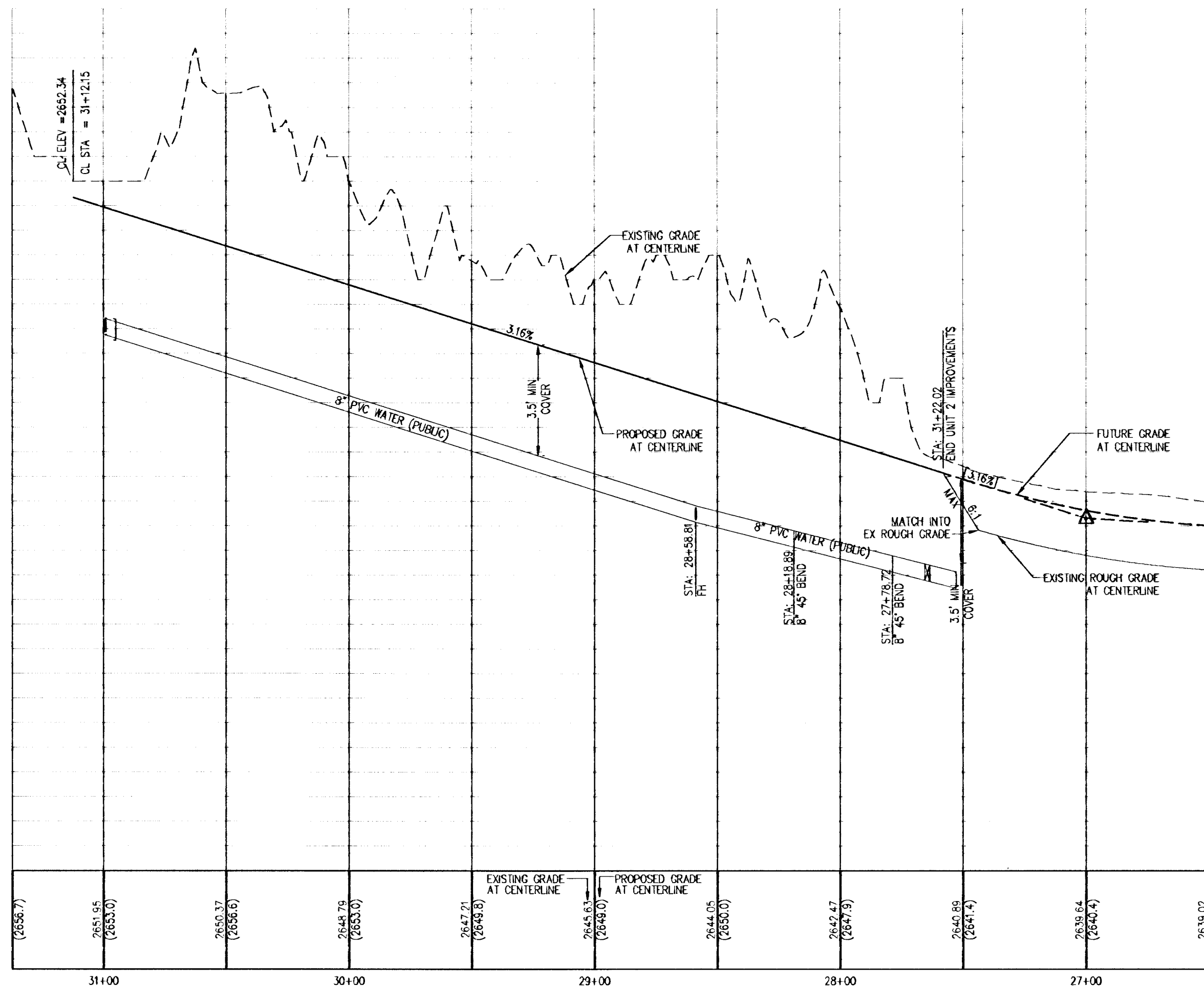




CALMING WATERS COURT- PLAN
STA: 23+50.00 TO 29+25.00



CALMING WATERS COURT - PROFILE
STA: 23+50.00 TO 29+25.00
SCALE: 1\"/>

LEGEND

	EXISTING (10.00)	PROPOSED 10.00 [10.00]
DESIGN ELEVATION		
FUTURE ELEVATION		
SCARP (SLOPE VARIES)		
CONTOUR (1' INTERVAL)		
CONTOUR (5' INTERVAL)		
DIRECTION OF FLOW		
CENTERLINE		
RIGHT-OF-WAY		
CUT LINE-ASPHALT		
CURB AND GUTTER		
CURB DROP INLET		
STORM DRAIN W/MANHOLE		
SIDEWALK		
PROPERTY LINE		
EDGE OF PAVEMENT		
2" BLOW OFF VALVE		
WATERLINE FIXTURES		
GATE VALVE		
FIRE HYDRANT		
PROPOSED SEWER LINE		
PROPOSED WATER LINE		

CONSTRUCTION NOTES

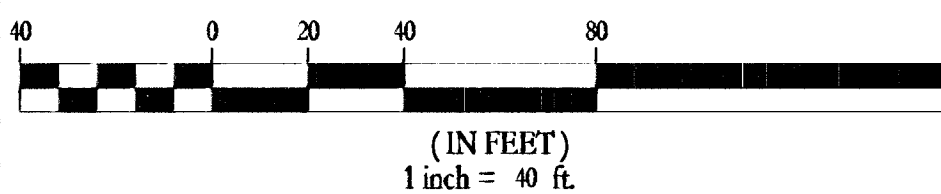
- 1) 24\"/>
- 2) SIDEWALK RAMP USING ARMOR TILE TRUNCATED DOMES OR EQUIVALENT (USD #235) CASE 1: A: A=8.0'; B: A=9.5' B=4.5'; C: A=12.0' B=4.5'
- 3) 4\"/>
- 4) 8\"/>
- 5) SAWCUT & MATCH EXISTING AC PAVEMENT
- 6) 30\"/>
- 7) CURB CUT (SEE P/001)
- 8) 10\"/>
- 9) WROUGHT IRON FENCE (SEE K/001)
- 10) WROUGHT IRON FENCE W/ SCREEN AND GATE (SEE Q/001)
- 11) 5\"/>
- 12) 30\"/>
- 13) AC PAVEMENT
- 14) SIDEWALK RAMP USING ARMOR TILE TRUNCATED DOMES OR EQUIVALENT (USD #235) CASE 1: A: A=8.0'; B: A=9.5' B=4.5'; C: A=12.0' B=12.0'
- 15) WROUGHT IRON FENCE W/ SCREEN AND GATE (SEE KK/002)

GEOTECHNICAL

GEOTECH, INC.
6835 S. ESCOBEDO ST. STE# A
LAS VEGAS, NEVADA 89119
702-897-1424

REPORT NO: 9786-LV6
DATE 03/11/2010

SCALE



LEGAL DESCRIPTION

BEING A PORTION OF THE NORTHWEST QUARTER (1/4) OF SECTION 31, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.B.D. & M. CLARK COUNTY, NEVADA

BASIS OF BEARINGS

S 89°14'18\"/>

BENCHMARK

B.M. #BLV90-31C4 CLV RIVET & ROUND PLATE IN CONC PAD WEST SIDE OF GRAND CANYON DR., 120 FEET SOUTH OF WASHBURN ROAD.
ELEVATION = 795.579 M (2010.16 FEET) NAVD 88

ABBREVIATIONS

AC ASPHALTIC CONCRETE	OC ON CENTER
BC BACK OF CURB	PB PULL BOX
BCR BACK OF CURB RADIUS	PC POINT OF CURVE
BM BENCHMARK	PCC POINT OF COMPOUND CURVE
BVC BEGIN VERTICAL CURVE	PI POINT OF INTERSECTION
CAV CABLE TELEVISION	PL PROPERTY LINE
CC CLARK COUNTY	PLT PLATE
CL CENTERLINE	PCC POINT OF CONNECTION
CLV CITY OF LAS VEGAS	PP POWER POLE
CONV CITY OF NORTH LAS VEGAS	PRC POINT OF REVERSE CURVE
CO CLEAN OUT, SEWER	PT POINT OF TANGENCY
CON CITY OF HENDERSON	PVC POLYVINYL CHLORIDE
CY CUBIC YARD	R RADIUS
DC DESIGN GRADE	RCB REINFORCED CONCRETE BOX
DD DROP INLET	REP REINFORCED CONCRETE PIPE
DP DUCTILE IRON PIPE	R/W RIGHT-OF-WAY
EC END OF CURVE	RT RIGHT
EP EDGE OF PAVEMENT	SD STORM DRAIN
EVC END VERTICAL CURVE	STL STREETLIGHT
EX EXISTING	SNWA SOUTHERN NEVADA WATER AUTHORITY
FF FINISH FLOOR ELEVATION	SS SANITARY SEWER
FG FINISH GRADE	STA STATION
FT FEET	STD STANDARD
FB GRADE BREAK	SVZ SIGHT VISION ZONE
GF GARAGE FINISH FLOOR	SW SIDEWALK
GP HIGH POINT	TC TOP OF CURB
HP HIGH POINT	TF TOP OF FOOTING
IN INVERT	TR TOP OF RETAINING
LEV LINEAR FEET	TW TOP OF WALL
LT LEFT	TYP TYPICAL
LWV LAS VEGAS VALLEY WATER DISTRICT	USCS UNIFORM STANDARD CONSTRUCTION STANDARDS
MAX MAXIMUM	USD UNIFORM STANDARD DRAWING
MH MANHOLE	VC VERTICAL CURVE
MIN MINIMUM	VCP VERTICAL CLAY PIPE
NTS NOT TO SCALE	VG VALLEY GUTTER
	W WATER
	ZC ZERO LIP CURB

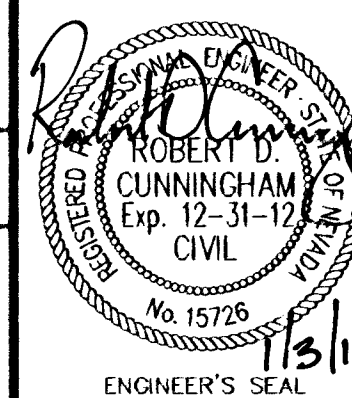
WILLIAM LYON HOMES
500 PILOT ROAD STE# G
LAS VEGAS, NV 89119
(702) 263-8200 FAX: (702) 263-8220

TANEY ENGINEERING
6005 S. JONES BLVD STE# 100
LAS VEGAS, NV 89118
(702) 360-8684 FAX: (702) 360-8333



ANN AND GRAND CANYON - UNIT 2
(SERENITY RIDGE)
A RESIDENTIAL SUBDIVISION

CALMING WATERS
STA: 23+50.00 TO 29+25.00
PLAN AND PROFILE



DATE: 1/3/11

SCALE: 1\"/>

JOB NO: WILL-10-068

DESIGNED BY: MC

CHECKED BY: RDC

SHEET NAME: PP7

SHEET: 18 OF 25

10-26904

APPROVAL BLOCK

ACCEPTANCE OF PLANS FOR FILING

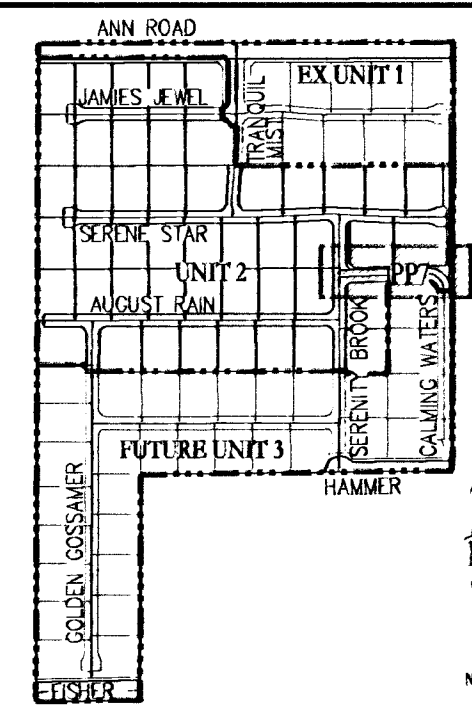
By: *Bob Belcher* 2-24-2011 DATE

CLARK COUNTY
DEPARTMENT OF PUBLIC WORKS

ACCEPTANCE OF THESE PLANS FOR FILING SHALL NOT BE CONSTRUED TO BE A PERMIT FOR OR AN APPROVAL OF ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS AND/OR SPECIFICATIONS. CLARK COUNTY SHALL BE HELD FREE FROM DAMAGES WHICH MAY RESULT FROM THE CONSTRUCTION OF THE IMPROVEMENTS FROM THE ENGINEERING DESIGN DEPICTED HEREIN.

NOTE: POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO CLARK COUNTY.

SITE MAP



GRADING NOTES

ADD 2600 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.

THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.

ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).

ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO CLARK COUNTY.

CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

KEY MAP

