

BEING A SUBDIVISION OF A PORTION OF PARCEL ONE AS SHOWN ON MAP THEREOF ON FILE IN FILE 91, PAGE 28 OF PARCEL MAPS IN THE COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA, LYING WITHIN THE NORTH HALF (N 1/2) OF SECTION 34, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

RADIAL TABLE	
RADIAL	BEARING
R6	S08°51'00"W
R7	N38°17'28"E
R8	N52°55'33"E
R9	S08°08'05"W
R10	N07°30'30"E
R11	N35°58'08"W

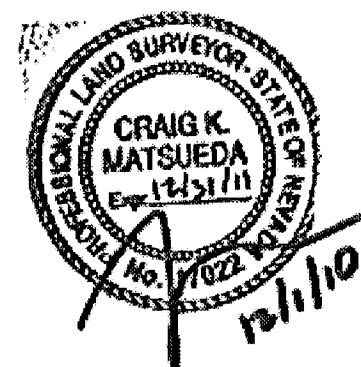


1. THE AREAS WITHIN COMMON LOTS "A" AND "B" ARE PUBLIC DRAINAGE EASEMENTS, PUBLIC SEWER EASEMENTS AND A PUBLIC UTILITY EASEMENTS GRANTED PER THIS PLAT (TO BE PRIVATELY MAINTAINED BY THE HOA).
2. FOR SIGHT VISIBILITY RESTRICTION ZONE (SVRZ) LOCATIONS AND DETAILS, REFER TO LATEST APPROVED CONSTRUCTION IMPROVEMENT PLANS.

REAR LOT CORNERS WILL BE SET WITH A REBAR AND ALUMINUM CAP STAMPED "PLS 17022" UNLESS A BLOCK WALL EXISTS. THEN A NAIL AND BRASS TAG STAMPED "PLS 17022" WILL BE SET IN THE BLOCK WALL TO DENOTE THE SIDE PROPERTY LINE. FRONT OR SIDE LOT CORNERS ADJOINING ROADWAYS WILL BE WITNESSED BY A SAWCUT IN THE TOP OF CURB ON THE PROLONGATION OF THE PROPERTY LINE.

4805-2
SHEET 4 OF 5

RECEIVED

CITY OF LAS VEGAS
PERMITS

121145
62023-971

BOOK 142 PAGE 100