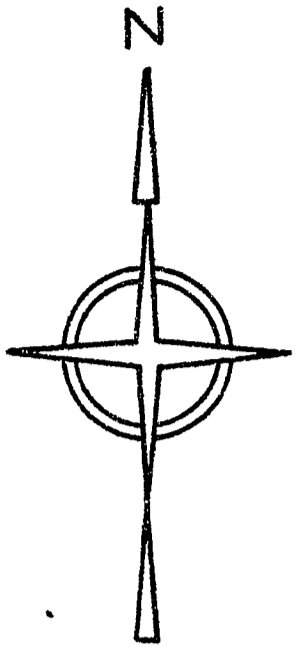


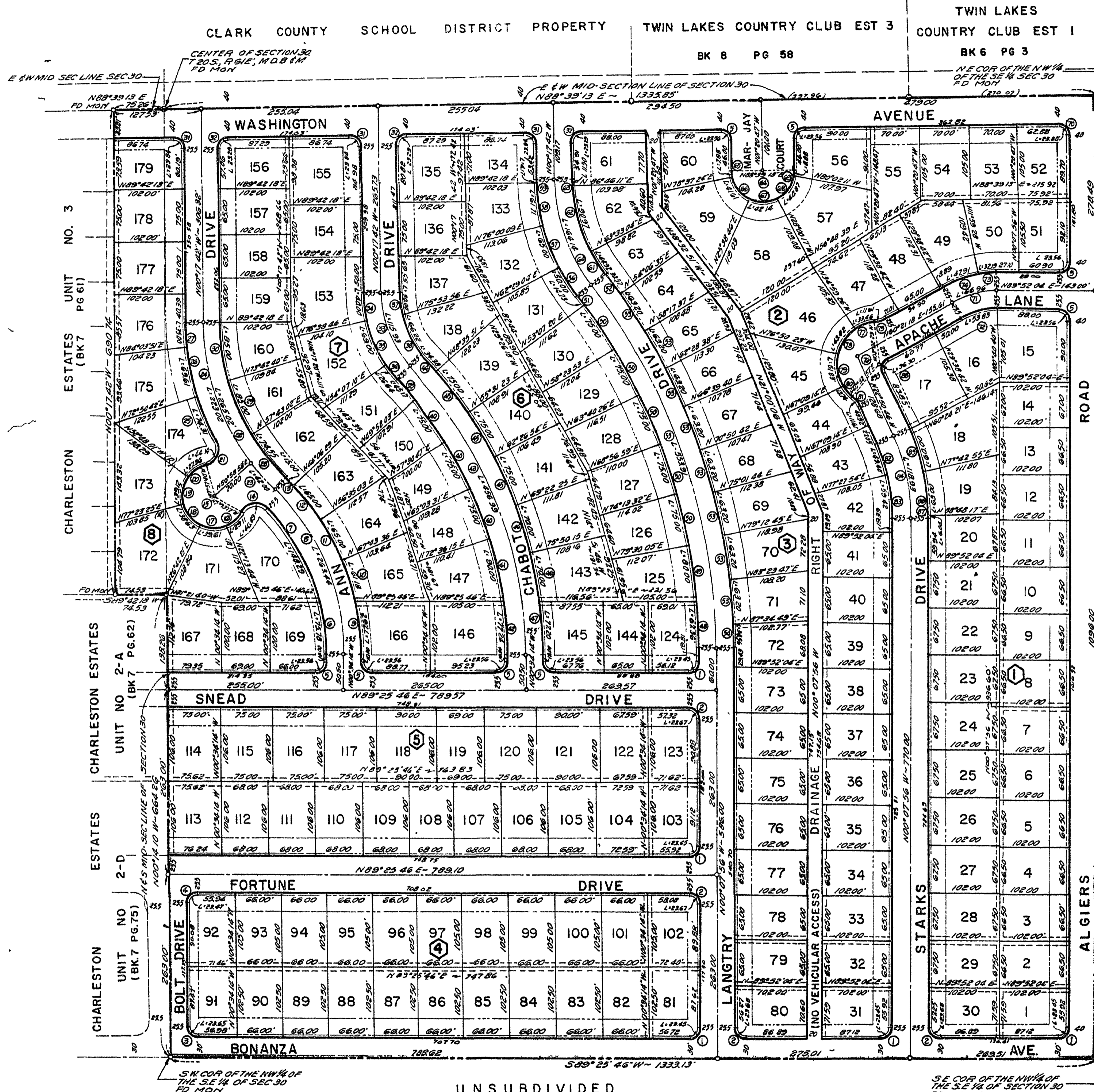
CHARLESTON ESTATES NO. 5

A SUBDIVISION OF THE NW 1/4 OF THE SE 1/4 AND PART OF THE NE 1/4 OF THE SW 1/4 OF SECTION 30, T.20S., R.61E., M.D.B. & M.
CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

BASIS OF BEARINGS
Bearings are based on U.S.C. & G.S. Coordinate System, Eastern Zone, Nevada, as determined by Survey made by Frank D. Faithful, Jr., Registered Professional Engineer and Land Surveyor, on the bearing of the North-South Mid-Section Line of Section 30, being N00°14'10"W, was taken from map recorded in File 4, Page 66, of Clark County Records Office.



SCALE 1" = 100'



NO.	R	T	L
1	89°33'42"	15.00	14.89
2	90°28'18"	15.00	15.18
3	90°28'18"	15.00	15.18
4	89°33'42"	15.00	14.89
5	90°28'18"	15.00	15.18
6	141°15'38"	304.50	304.50
7	274°54'28"	15.00	14.94
8	89°33'42"	15.00	14.89
9	18°30'33"	353.50	353.50
10	89°33'42"	15.00	14.89
11	101°51'37"	353.50	353.50
12	101°51'37"	353.50	353.50
13	101°51'37"	353.50	353.50
14	101°51'37"	353.50	353.50
15	101°51'37"	353.50	353.50
16	101°51'37"	353.50	353.50
17	101°51'37"	353.50	353.50
18	101°51'37"	353.50	353.50
19	101°51'37"	353.50	353.50
20	101°51'37"	353.50	353.50
21	101°51'37"	353.50	353.50
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29	101°51'37"	353.50	353.50
30	101°51'37"	353.50	353.50
31	101°51'37"	353.50	353.50
32	101°51'37"	353.50	353.50
33	101°51'37"	353.50	353.50
34	101°51'37"	353.50	353.50
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36	101°51'37"	353.50	353.50
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41	101°51'37"	353.50	353.50
42	101°51'37"	353.50	353.50
43	101°51'37"	353.50	353.50
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57	101°51'37"	353.50	353.50
58	101°51'37"	353.50	353.50
59	101°51'37"	353.50	353.50
60	101°51'37"	353.50	353.50
61	101°51'37"	353.50	353.50
62	101°51'37"	353.50	353.50
63	101°51'37"	353.50	353.50
64	101°51'37"	353.50	353.50
65	101°51'37"	353.50	353.50
66	101°51'37"	353.50	353.50
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88	101°51'37"	353.50	353.50
89	101°51'37"	353.50	353.50
90	101°51'37"	353.50	353.50
91	101°51'37"	353.50	353.50
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94	101°51'37"	353.50	353.50
95	101°51'37"	353.50	353.50
96	101°51'37"	353.50	353.50
97	101°51'37"	353.50	353.50
98	101°51'37"	353.50	353.50
99	101°51'37"	353.50	353.50
100	101°51'37"	353.50	353.50
101	101°51'37"	353.50	353.50
102	101°51'37"	353.50	353.50

- LEGEND**
- 15' BUILDING SETBACK LINE
 - 25' BUILDING SETBACK LINE
 - Ⓢ BLOCK NUMBER
 - 22 LOT NUMBER
 - Ⓢ CURVE NUMBER
 - 6' UTILITY EASEMENT
 - 12' UTILITY EASEMENT
 - 3' UTILITY EASEMENT
 - MONUMENT SET
 - MONUMENT FOUND
 - POLE ANCHOR EASEMENT

ENGINEER'S CERTIFICATE
I, Robert J. McNutt a duly Licensed Land Surveyor in the State of Nevada, do hereby certify that this is a true and correct plat of the land surveyed under my direct supervision at the instance of Golf Development Co. a partnership, and laid out into lots, blocks, streets, easements and Drainage Right of Way as shown, that the location of said lots, blocks, streets, easements and Drainage Right of Way have been definitely established and perpetuated in strict accordance with the law and as shown hereon, that said lots, blocks, streets, easements and Drainage Right of Way are situated wholly within the NW 1/4 of the SE 1/4 and part of the NE 1/4 of the SW 1/4 of Section 30, T.20S., R.61E., M.D.B. & M. City of Las Vegas, Clark County, Nevada, described as follows: Beginning at the Center of Section 30 and proceeding thence along the E 1/2 Mid-Section Line N88°39'13"E - 1335.85 feet, to the NE Corner of NW 1/4 of SE 1/4, thence along the East Line of said NW 1/4 of the SE 1/4, coincident with the West lines of Twin Lakes Estates Units No. 1, No. 2, No. 3, and No. 4 as recorded in Clark County Records 50070756 E-197449 feet, thence along the south line of the NW 1/4 of SE 1/4, S89°25'46"W - 1333.13 feet, to the SW Corner of said NW 1/4 of SE 1/4, thence along the East Line of said NW 1/4 of SE 1/4, coincident with the East Line of Charleston Estates Unit No. 2-D as recorded in Book 7 Page 75 and Charleston Estates Unit No. 2-A as recorded in Book 7 Page 62 of Clark County Records, N00°14'10"W - 664.26 feet, thence along the north line of said Charleston Estates Unit No. 2-A, S89°42'18"W - 74.53 feet, thence along the East Line of Charleston Estates Unit No. 3, as recorded in Book 7 Page 61 of Clark County Records, N00°14'10"W - 690.74 feet, to the E 1/2 Mid-Section Line, thence along the above described line N88°39'13"E - 75.26 feet to the point of beginning and containing 43.15 A.C. This Survey was completed on the 20th day of December 1962.

Robert J. McNutt
Clark County, Nevada

OWNER'S CERTIFICATE & DEDICATION
State of Nevada }
County of Clark } S.S.

Golf Development Co., a partnership do hereby certify that they are the owners of the parcel of land which is shown upon the plat of Charleston Estates No. 5, and do hereby consent to the preparation and recording of this plat, and do hereby offer and dedicate all the streets, easements and Drainage Right of Way as indicated and outlined hereon, for the use of the public. Vehicular access to the Drainage Right of Way is denied. No part of the parcels marked "unsubdivided" is offered for dedication. Dated this 9th day of January 1963.

GOLF DEVELOPMENT CO.
By: Ernest A. Becker
Ernest A. Becker, Agent

UTILITY DEDICATION
Golf Development Co., a partnership and owners of the within platted lands, hereby grant and convey to the NEVADA POWER COMPANY, its successors and assigns a permanent easement and right of way as shown by the areas marked "Utility Easements" on the plan, for construction and maintenance of electric and telephone poles, lines and appurtenances, together with the right of access thereto. Dated this 9th day of January 1963.

GOLF DEVELOPMENT CO.
By: Ernest A. Becker
Ernest A. Becker, Agent

ACKNOWLEDGEMENT
State of Nevada }
County of Clark } S.S.

On this 9th day of January 1963, personally appeared before me, a Notary Public in and for said County and State, Ernest A. Becker known to me to be the Agent of the Company that executed the foregoing instrument, and upon oath, did he depose that he is the agent of said Company, that the signature to said instrument was made by the Agent of said Company as indicated after his signature, and that the said Company executed the said instrument freely and voluntarily and for the use and purposes therein mentioned.

In witness whereof I have hereunto set my hand and affixed my seal at my office in the County of Clark, State of Nevada, the day and year of the certificate first above written.

Dwight P. Engelbrecht
Notary Public in and for said County and State

My Commission Expires Jan 4 1964

CITY ENGINEER'S CERTIFICATE
I, R.P. Sauer, City Engineer of the City of Las Vegas, County of Clark, State of Nevada, do hereby certify that the subdivision as shown thereon is substantially the same as it appeared on the tentative map and any approved alterations thereof, that all provisions of the Planning and Zoning Act of the State of Nevada and any local ordinances applicable at the time of approval of the tentative map have been complied with, and that I am satisfied that this map is technically correct.

R.P. Sauer
R.P. Sauer, City Engineer R.P.E. No. 396

APPROVAL
In conformity with the tentative map approved, this 10 day of JAN 1963, by the City Planning Commission of the City of Las Vegas, County of Clark, State of Nevada.

Don J. Saylor
Secretary

APPROVAL
Approved and accepted this 19th day of FEB 1963, by the Board of Commissioners of the City of Las Vegas, County of Clark, State of Nevada.

Attested: *[Signature]* Mayor

NO. 342869
RECORDED AT THE REQUEST OF GOLF DEVELOPMENT CO.
DATE 2-19-63 AT 9:26 AM
BOOK 8 PAGE 71
OF PLATS
OFFICIAL RECORDS BOOK NO. 425
CLARK COUNTY, NEVADA RECORDS
PAUL E. HORN RECORDER
FEE \$5.00 DEPUTY

