

940401

13-2-137 01014

ANGEL COURT CONDOMINIUMS

A PORTION OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF SECTION 33, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

NOTE:

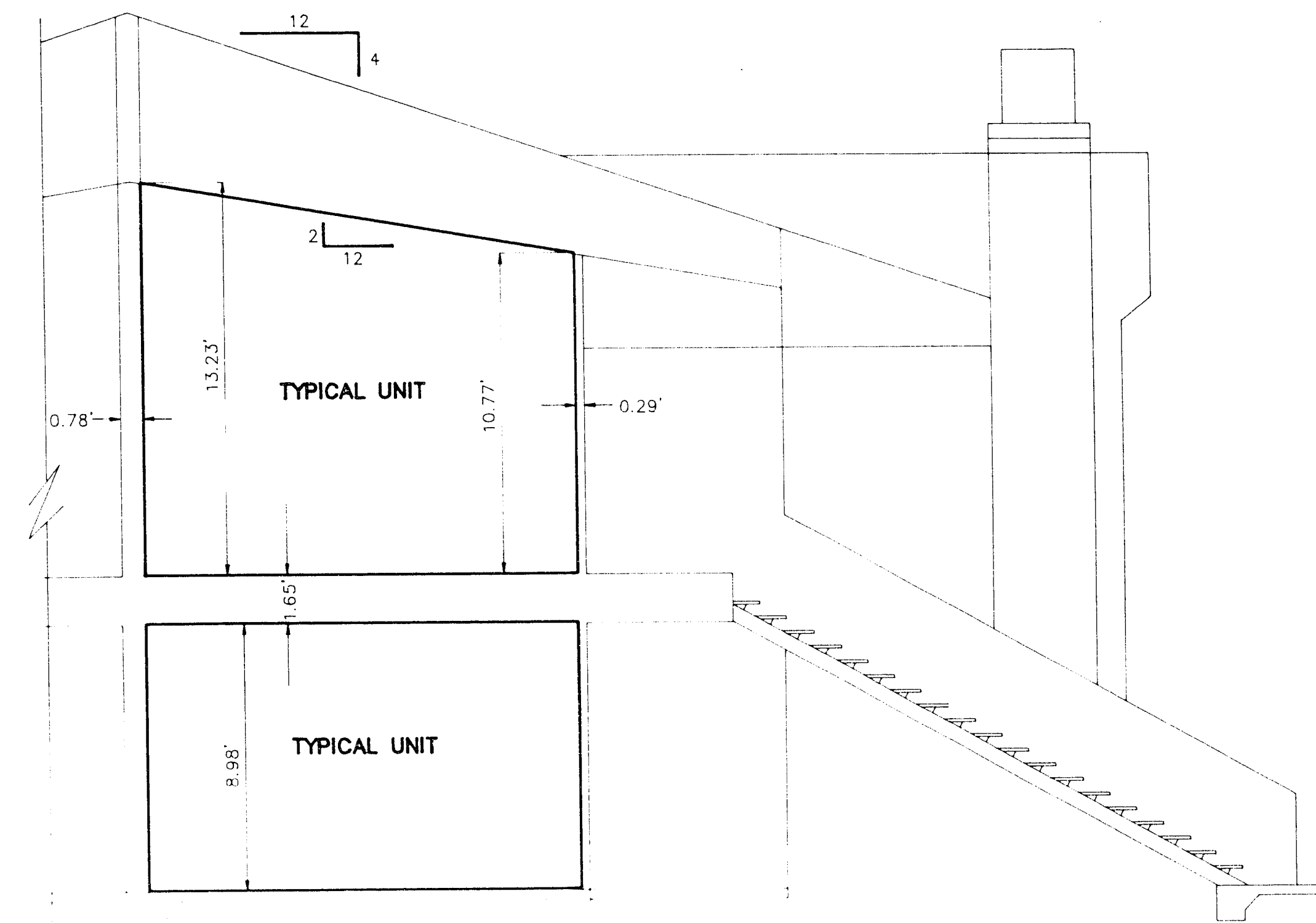
1. THE COMMON ELEMENT OF THIS CONDOMINIUM PLAN IS THE LAND AND REAL PROPERTY INCLUDED WITHIN THE LIMITS OF THE PROJECT AS DEFINED HEREIN, EXCEPTING THEREFROM THE UNITS SHOWN HEREIN AND DEFINED BY THE N.R.S. CHAPTER 116.11039, AND/OR AS FURTHER DEFINED IN THE DECLARATION AS PROVIDED FOR IN N.R.S. CHAPTER 116.2105.
2. PORTIONS OF THE COMMON ELEMENT ARE HEREBY SET ASIDE AND ALLOCATED FOR THE LIMITED USE OF CERTAIN UNITS AS SHOWN HEREON AND AS SET FORTH IN N.R.S. 116.2102 SUB. 2 + 4 2ND IN THE "DECLARATION OF RESTRICTIONS" TO BE HEREINAFTER RECORDED AND SUCH AREAS SHALL BE KNOWN AS "LIMITED COMMON ELEMENTS" AND SUCH LIMITED COMMON ELEMENTS SHALL BE EASEMENTS APPURTENANT TO SAID UNITS FOR THE EXCLUSIVE USES AND PURPOSES FOR WHICH THE SAME ARE DESIGNATED HEREON.
3. EACH AREA DEPICTED WITHIN THIS MAP BEARING ON OF THE FOLLOWING DESIGNATIONS ARE "LIMITED COMMON ELEMENTS":
 - ① FIRST FLOOR PATIO / SECOND FLOOR BALCONY
 - ② LANDING / STAIRS ENVELOPE
 - ③ CHIMNEY / FLUE
 - ④ STORAGE AREA

THESE LIMITED COMMON ELEMENTS AREA ASSIGNED TO THE ADJACENT UNIT(S) WHICH HAVE THE THE SAME NUMERICAL DESIGNATION, SUBJECT TO THE CONDITIONS SET FORTH IN THE DECLARATION OF RESTRICTIONS AS HEREINAFTER RECORDED.

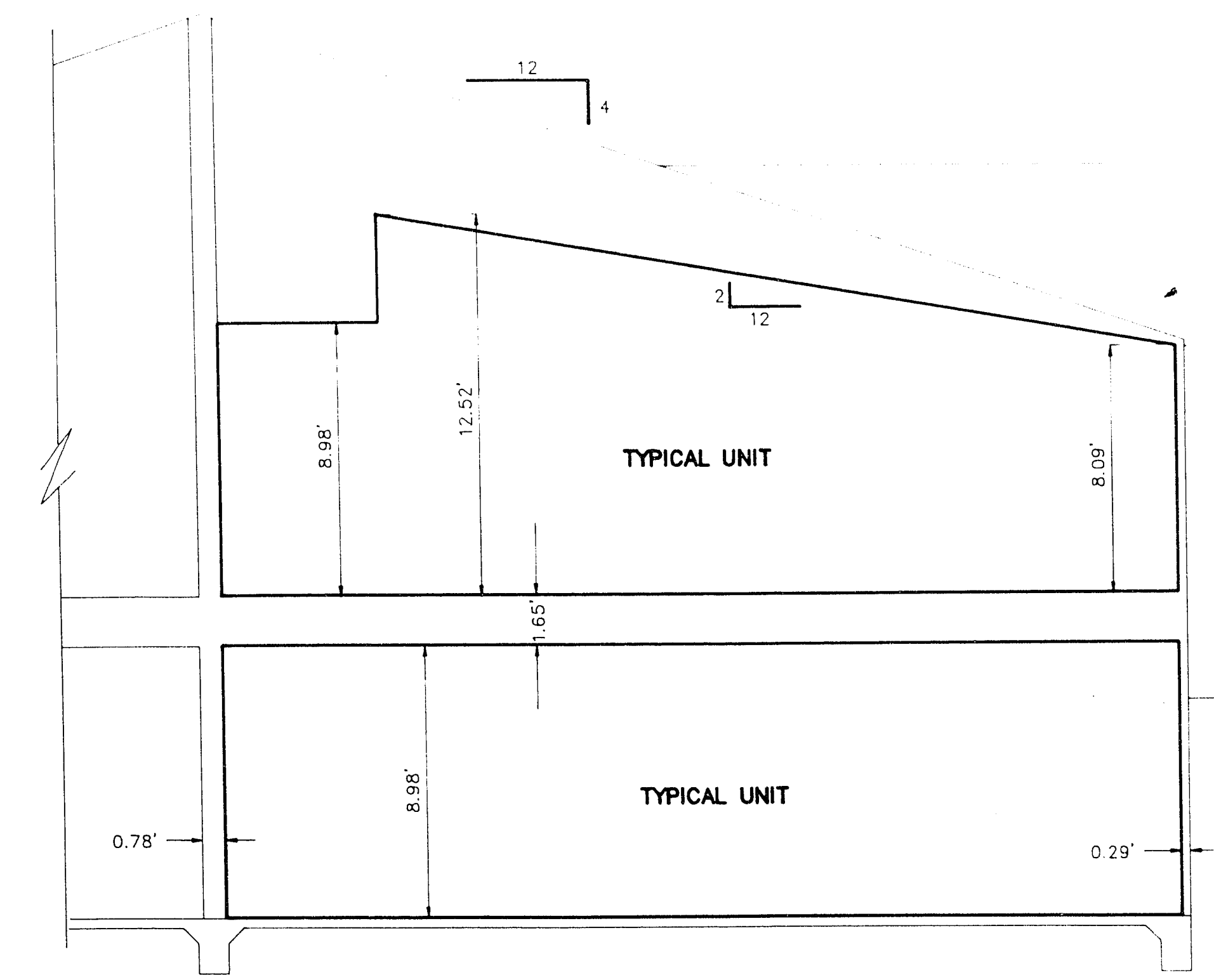
4. FOR OWNERSHIP PURPOSES, THE UNIT IS DEFINED BY THE N.R.S. CHAPTER 116.11039

NOTE:

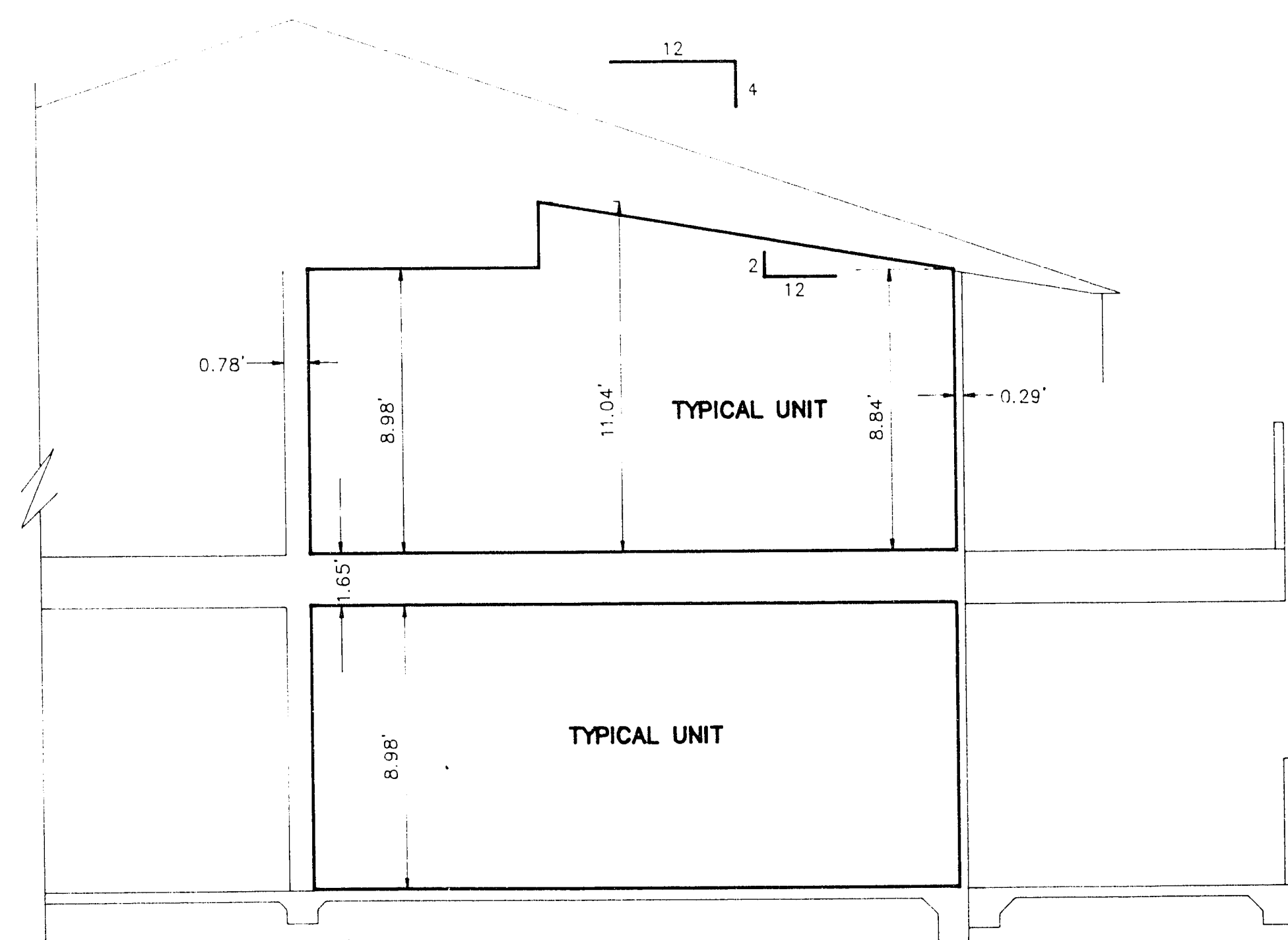
ALL INTERIOR DIMENSIONS ARE FROM FACE OF WALL TO FACE OF WALL (STUDS) AND BOTTOM OF CEILING (FACE OF JOISTS) TO TOP OF FLOOR (FACE OF CONCRETE OR PLYWOOD).



BUILDING SECTION
SCALE: 1" = 4'



BUILDING SECTION
SCALE: 1" = 4'



BUILDING SECTION
SCALE: 1" = 4'

SHEET 6 OF 6

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