

· 2700 BRADY ST. ·

Angela L. Jackson 2/20/80

DEPT. of BLDG. & SAFETY—CITY of LAS VEGAS, NEVADA
OWNER, ARDEN BUILDING CORP. ADDRESS 2700 Brady DATE 10-11-61
GEN. CONT. SAME TYPE OF STRUCTURE S.F. Dwl.
PERMIT NO. 6331 LEGAL DESCRIPTION Lot 61 Block 3 Wash. Addn #1

LOCATION 6610-1461 FIREPLACE FTS. _____
FOOTINGS 6610-1461 PILES _____
FOUND. 6610-1461 PIERS _____
FLOOR _____ SLAB 6610-1461
ANCHOR BOLTS 11-24 BASE PLATES _____
WALL STEEL _____
COLUMN STEEL _____
BEAM STEEL _____
FRAMING 13-11-61
ROOF SHEATHING 12-11-61
STEEL FABRICATION _____
STEEL CONNECTION _____
INTERIOR EXTERIOR
LATHING 8-27-61 9-1-62
BACKING SCRATCH 8-27-61
PLASTER BROWN 8-27-61
FINAL BLDG. 8-14-62 DATE _____
GRADING & DRAINAGE _____
ON-SITE PARKING _____ SPACES _____
ENG. APPROVAL OF _____
OFF-SITE IMPROVEMENTS _____

PLUMBING CONT. J.M. Ritter
PERMIT NO. 4662 DATE 4-20-61
HEAT. & VENT. CONT. J.M. Ritter
PERMIT NO. 1771 DATE 5-18-61
SEWER CONT. White
PERMIT NO. 4662 DATE 11-10-61
ROUGH SOIL London 11-3-61
ROUGH WATER London 11-3-61
TOP-OUT Bradley 12-26-61
ROUGH GAS _____
AC ROUGH DUCT Self 12-29-61
REF. ROUGH PIPING _____
SEWER Bradley 11-27-61
SEPIC TANK _____
FINAL PLUMBING Self 4-10-62
FINAL GAS _____
FINAL HEATING _____
FINAL AIR COND. Self 4-12-62
FINAL REFRIG. _____

TEMP. POLE CONT. _____
PERMIT NO. _____ DATE _____
INSPECTION _____ DATE _____
ELECTRICAL CONT. Legg 5-16-61
PERMIT NO. 4608 DATE 12-13-61
OUTLETS 41
MOTORS _____ H.P. _____
SLAB _____
ROUGH Dilly 12-26-61
FINAL ROUGH _____
FIXTURES CONT. Waggoner 12-13-61
PERMIT NO. 4608 DATE 12-13-61
FIXTURES 4
FINAL FIXTURE Perkins 4-10-62
URBAN REDEVELOPMENT APPROVAL _____

APPROVED FOR OCCUPANCY Courtney 4-12-62 INSPECTOR _____ DATE _____

APPROVED FOR METER Perkins 4-10-62
PLEASE NOTE REMARKS ON REVERSE SIDE 2700 Brady

LOG# T-51 AREA# 2 23.04

Debbie Highman 3-1-85

CITY OF LAS VEGAS, NEVADA

LOG NO. & AREA M-130 DATE 2-28-85 CONST. VAL. \$ 1200.00

DEPARTMENT OF BUILDING AND SAFETY
PHONE 386-6251

070 472014

DEVELOPMENT PERMIT AND BUILDING PERMIT
FOR: Fence, Wall, Retaining Wall

ADDRESS OF CONSTRUCTION 2700 BRADY AVE

OWNER BLAS, VEGA

CONTRACTOR N/A

STATE LICENSE NO.

CITY LICENSE NO.

LOT(s) 61 BLOCK 13

SUBDIVISION WASHINGTON AVE

ZONE A-1

PROPOSED CONSTRUCTION: CMU FENCE

BUILDING PERMIT NO. 5956

ENGINEER

Approval for the work under this permit will be given only after refuse and debris have been removed from job site and public right of way.

Remarks:

TOTAL SQUARE FEET:

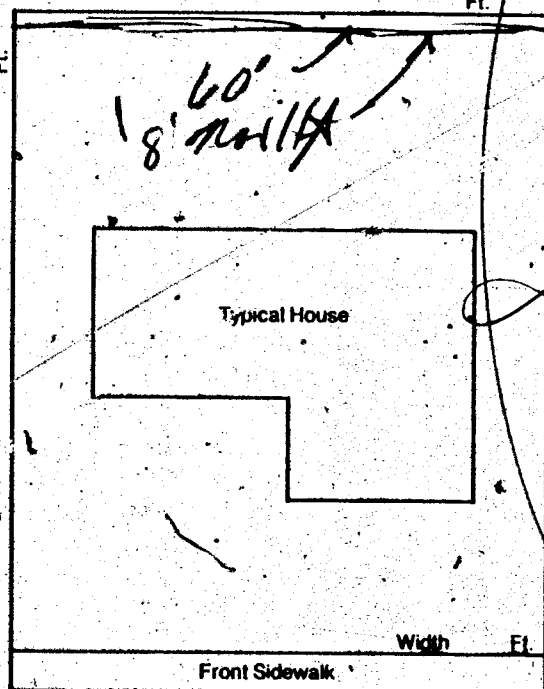
TOTAL LINEAL FEET: 60'

OTHER INSPECTIONS AND FEES

1. Inspections outside of normal business hours = \$25.00 per hour (minimum charge three hours).
2. Re-inspection fee during normal business hours assessed under provisions of TABLE 3-A of the Uniform Building Code = \$15.00 each.
3. Inspections during normal business hours for which no fee is specifically indicated = \$15.00 per hour (minimum charge one half hour).
4. Additional plan review required by changes, additions or revisions at approved plans = \$25.00 per hour (minimum charge two hours).

CONDITIONS OF THE PERMIT:

1. Any type of retaining wall must be engineered by a Civil or Structural Engineer.
2. If a home owner takes out the Building Permit and if the owner sublets the work to a Contractor, then the Contractor must take out the permit and pay for it.
3. No fence or wall can be built on City property or rights-of-way, but this is not intended to preclude construction within utility easements if utilities will not be damaged or made inaccessible.
4. The fence or wall shall not enclose any water meter, light standard, or fire alarm box and shall not come closer than 24" from the nearest fire hydrant outlet.
5. Department Inspectors must approve footings before concrete is poured and block wall reinforcing before grouting is done.
6. Maximum height of any wall or fence is 6', side and rear yards; 4' maximum in front yard with the vertical surface above the height of 2' — 50% open.
7. I must not obstruct required on-site parking space (2 spaces for each dwelling unit) by the erection of this fence or wall.
8. By the signing of this application I herewith agree to the requirements outlined above.



SIGNED

CONTRACTOR - AGENT - OWNER

PLANNING DEPT.

DATE

BUILDING DEPT.

DATE

I hereby certify that I have reviewed this application and the proposed plans and have found that the proposed development meets the requirements of the City of Las Vegas Flood Hazard Reduction Ordinance for the issuance of this Development Permit.

2310 2401

LAND DEVELOPMENT AND FLOOD CONTROL ENGINEER

DATE

PLAN REVIEW FEE

PERMIT FEE

TOTAL FEES

RECEIPT

0007

WALL 32.50

CHEK 32.50

5956A000 13:28

2/28/85

MUST BE MACHINE VALIDATED

Permit Expires 180 Days After Abandonment of Work

Handwritten notes at top left of page.

Empty rectangular box at top right of page.

FENCE & FENCIBLE WALLS

Site Name: _____ DATE: 2-28-85

3000 Sandy Ave. _____

County: _____ Precinct No.: _____ Use No.: _____

_____ M-130

SEE APPLICATION

FENCES (wire, wood, brick, & retaining walls)

Location & Fencing		
AB3-785	AB3-158	
1st	2nd	3rd
4th	5th	6th
7th	8th	9th
10th	11th	12th
13th	14th	15th
16th	17th	18th
19th	20th	21st
22nd	23rd	24th
25th	26th	27th
28th	29th	30th
31st	32nd	33rd
34th	35th	36th
37th	38th	39th
40th	41st	42nd
43rd	44th	45th
46th	47th	48th
49th	50th	51st
52nd	53rd	54th
55th	56th	57th
58th	59th	60th
61st	62nd	63rd
64th	65th	66th
67th	68th	69th
70th	71st	72nd
73rd	74th	75th
76th	77th	78th
79th	80th	81st
82nd	83rd	84th
85th	86th	87th
88th	89th	90th
91st	92nd	93rd
94th	95th	96th
97th	98th	99th
100th	101st	102nd
103rd	104th	105th
106th	107th	108th
109th	110th	111th
112th	113th	114th
115th	116th	117th
118th	119th	120th
121st	122nd	123rd
124th	125th	126th
127th	128th	129th
130th	131st	132nd
133rd	134th	135th
136th	137th	138th
139th	140th	141st
142nd	143rd	144th
145th	146th	147th
148th	149th	150th
151st	152nd	153rd
154th	155th	156th
157th	158th	159th
160th	161st	162nd
163rd	164th	165th
166th	167th	168th
169th	170th	171st
172nd	173rd	174th
175th	176th	177th
178th	179th	180th
181st	182nd	183rd
184th	185th	186th
187th	188th	189th
190th	191st	192nd
193rd	194th	195th
196th	197th	198th
199th	200th	201st
202nd	203rd	204th
205th	206th	207th
208th	209th	210th
211st	212nd	213th
214th	215th	216th
217th	218th	219th
220th	221st	222nd
223rd	224th	225th
226th	227th	228th
229th	230th	231st
232nd	233rd	234th
235th	236th	237th
238th	239th	240th
241st	242nd	243rd
244th	245th	246th
247th	248th	249th
250th	251st	252nd
253rd	254th	255th
256th	257th	258th
259th	260th	261st
262nd	263rd	264th
265th	266th	267th
268th	269th	270th
271st	272nd	273rd
274th	275th	276th
277th	278th	279th
280th	281st	282nd
283rd	284th	285th
286th	287th	288th
289th	290th	291st
292nd	293rd	294th
295th	296th	297th
298th	299th	300th

AB6-7-85

EST-15