

811 DESERT LANE

OWNER CLAUDE HOWARD

DEPT. of BLDG & SAFETY—CITY of LAS VEGAS, NEVADA

GEN. CONT. SAMEADDRESS 811 DESERT LANEDATE 4-2-62PERMIT NO. 8825

LEGAL DESCRIPTION

TYPE OF STRUCTURE 1-PLY

BUILDING	MECHANICAL	ELECTRICAL
LOCATION <u>5-2-62</u>	PLUMBING CONT. <u>11-1-62</u>	TEMP. POLE CONT.
FIREPLACE FTS.	PERMIT NO. <u>303</u> DATE <u>4-1-62</u>	PERMIT NO. _____ DATE _____
FOOTINGS <u>5-2-62</u>	HEAT & VENT. AC CONT. <u>12-1-62</u>	INSPECTION _____ DATE _____
FOUNDATION WALL	PERMIT NO. <u>3723</u> DATE <u>3-12-62</u>	ELECTRICAL CONT. <u>11</u>
STEM WALL <u>5-2-62</u>	SEWER CONT. <u>1-1-62</u>	PERMIT NO. <u>6172</u> DATE <u>3-3-62</u>
FLOOR FRAMING	PERMIT NO. <u>303</u> DATE <u>4-1-62</u>	FIXTURES CONT.
SLAB <u>5-2-62</u>	ROUGH SOIL <u>4-1-62</u>	PERMIT NO. <u>6172</u> DATE <u>3-3-62</u>
CHIMNEY STEEL (FIREPLACE)	ROUGH WATER <u>4-1-62</u>	SLAB
WALL STEEL	TOP-OUT <u>4-1-62</u>	ROUGH
COLUMN STEEL	ROUGH GAS	FINAL ROUGH
BEAM STEEL	AC ROUGH DUCT <u>4-1-62</u>	FINAL FIXTURE
STEEL FABRICATION	REF. ROUGH PIPING	TEMPORARY SERVICE
FRAMING	FINAL PLUMBING <u>4-1-62</u>	
ROOF SHEATHING	FINAL GAS	MISCELLANEOUS
INTERIOR	FINAL AIR COND. <u>4-1-62</u>	URBAN REDEVELOPMENT APPROVAL
EXTERIOR	FINAL REFRIG.	
DRYWALL	FINAL SEWER <u>4-1-62</u>	
LATHING	FINAL SEPTIC TANK	
BACKING (SIDING)		
PLASTER		
SCRATCH		
BROWN		
FINAL BLDG		

APPROVED FOR OCCUPANCY

APPROVED FOR METER

PLEASE NOTE REMARKS ON REVERSE SIDE

INSPECTOR

DATE

LOG # 785AREA # 4

23.04

811 DESERT LANE

3-40-049
CITY OF LAS VEGAS, NEVADA

LOG NO. & AREA

DEPARTMENT OF BUILDING AND SAFETY

CONST. VAL. \$

APPLICATION & BUILDING PERMIT - for:
Fence, Wall, Retaining Wall.

ADDRESS OF
CONSTRUCTION:

OWNER:

LOT(s)

BLOCK

SUBDIVISION

ZONE

Materials of Construction:

Block

Concrete

Wire

Wood

Other

Yes

No

PLANS:

CALCS:

ARCHITECT:

ENGINEER:

CONTRACTOR:

STATE
LICENSE

CITY
LICENSE #

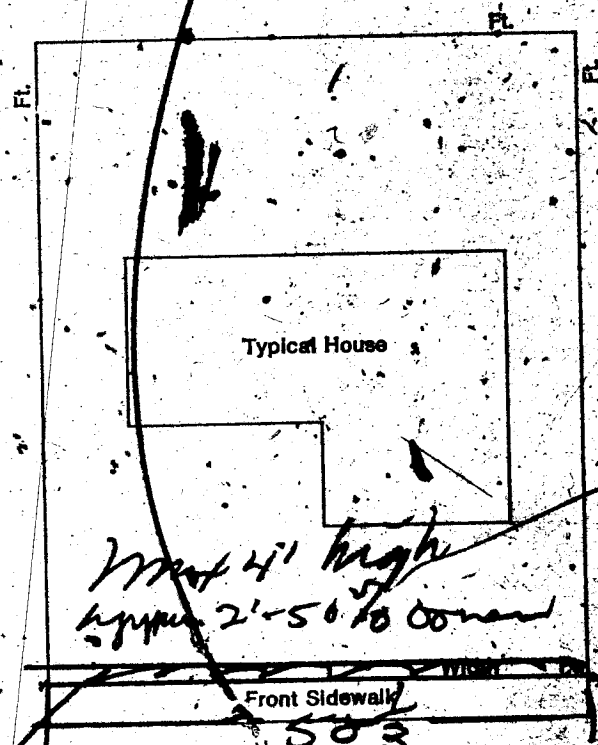
TOTAL SQUARE FEET:

TOTAL LINEAL FEET:

Remarks:

CONDITIONS OF THE PERMIT:

1. Any type of retaining wall must be engineered by a Civil or Structural Engineer.
2. If a home owner takes out the Building Permit and if the owner sublets the work to a Contractor, then the Contractor must take out the permit and pay for it.
3. No fence or wall can be built on City property or rights-of-way, but this is not intended to preclude construction within utility easements if utilities will not be damaged or made inaccessible.
4. The fence or wall shall not enclose any water meter, light standard, or fire alarm box and shall not come closer than 24" from the nearest fire hydrant outlet.
5. Department inspectors must approve footings before concrete is poured and block wall reinforcing before grouting is done.
6. Maximum height of any wall or fence is 6' side and rear yards; 4' maximum in front yard with the vertical surface above the height of 2' - 50% open.
7. I must not obstruct required onsite parking space (2 spaces for each dwelling unit) by the erection of this fence or wall.
8. By the signing of this application I herewith agree to the requirements outlined above.



SIGNED

CONTRACTOR

AGENT

OWNER

DATE: 3-19-82

PLANNING DEPT:

PUBLIC WORKS DEPT:

BUILDING DIVISION:

PERMIT NO:

RECEIPT

MUST BE MACHINE VALIDATED

Yolanda Allen C/16/82

C/16/82	
First Name	Yolanda
Last Name	Allen
Sex	F
Handwritten	
Final	C/16/82
Specify Type Of Error	

NOTICE AND ORDER TO MAKE REPAIRS

4 plex

TO: ALLAN M. & CHRISTINE F. TRINER
2104 LOS ALTOS, LAS VEGAS, NEVADA 89102

Site Copy

As record owner of the building(s) located at 811 DESERT LANE, LAS VEGAS, NEVADA, legally described as PT SE4, SW4, SEC. 33-20-61, you are hereby given notice that the Director of the Department of Building and Safety has determined that the aforementioned building is substandard. Said building dangerous under Section 202 of the Uniform Housing Code because of the following conditions

Reference Publication:

Uniform Housing Code (UHC), 1985 Edition
Uniform Building Code (UBC), 1985 Edition
Uniform Plumbing Code (UPC), 1985 Edition
Uniform Mechanical Code (UMC), 1985 Edition
National Electrical Code (NEC), 1987 Edition

EXTERIOR:

1. Sec. 701 (b) UHC
2. *Sec. 1001 (b) 4, UHC
3. Sec. 701 (b) UHC

Replace all missing inspection access panels on air conditioning units.

Repair or replace deteriorated roof coverings.

Replace all missing dead fronts on sub panels.

INTERIOR:

4. *Sec. 1001 (e) UHC
Art. 300-4 NEC
5. *Sec. 1001 (f) UHC
Sec. 1007 (e) UPC

Where subject to physical damage, conductors shall be adequately protected. Provide protection against physical damage for the electrical wiring to the water heater.

Install a drain line from the T & P relief valve on the water heater to meet the following requirements:
Relief valves located inside a building shall be provided with a drain, not smaller than the relief valve outlet, of galvanized steel or hard drawn copper piping and fittings and shall extend from the valve to the outside of the building with the end of the pipe not more than two (2) feet (.6m) inches (152.4mm) above the ground and pointing downward. Such drain may terminate at other approved locations. No part of such drain pipe shall be trapped and the terminal end of the drain pipe shall not be threaded.

6.

The following is offered as a safety recommendation. The temperature and pressure (T & P) relief valve on the water heater should be manually operated by lifting the test lever on a regular basis to insure it is capable of discharging water. Drain line termination point should be visible to observe the discharge.

INTERIOR: STORE ROOM WORK SHOP:

7. *Sec. 1001 (e) UHC

Sub panel has one circuit breaker protecting two circuits. Remove one of the circuits and install a circuit breaker for this circuit.

Notice and Order to Make Repairs, Cont.
811 Desert Lane

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Because of these conditions, the Director of the Department of Building and Safety hereby orders **ALLAN M. & CHRISTINE F. TRINER**, record owners of the building, to:

1. Cause the following permits to be taken out by a licensed contractor on or before **NOVEMBER 3, 1987**: **ELECTRICAL, PLUMBING, ROOFING**: (Only starred (*) items require a licensed contractor.)
2. Make the aforementioned repairs by **NOVEMBER 27, 1987**. Contact the City of Las Vegas Housing Code Enforcement Section at **986.6615** when work is completed.
3. If any building declared substandard under this ordinance and ordered to be repaired by the Building Official has been vacated by the owner(s) to effect such repairs, a Certificate of Occupancy shall be obtained by the owner(s) upon completion of the repairs or prior to reoccupancy.

If these orders are not complied with, you are hereby given notice that the Director of the Building and Safety may order the building vacated and posted to prevent further occupancy until the work is completed and may proceed to cause the work to be done or safely secure the structure, and charge the costs thereof against the property or its owner.

As the property owner(s), you will be responsible for all costs incurred. You will be notified of a public hearing to be conducted by the City Council to review the costs, and their decision shall be final and conclusive. Upon approval of the costs by the City Council, a Lien of Assessment shall be filed with the County Recorder, certified copies of the lien given to the County Treasurer, and the amount of the Lien of Assessment shall then be collected at the same time and in the same manner as ordinary property taxes. All laws applicable to the levy, collection, and enforcement of property taxes shall be applicable to such assessment.

Moreover, you are hereby given notice:

1. That any person having record title or legal interest in the building may appeal from this Notice and Order or any action of the Director of the Department of Building and Safety to the City Council of the City of Las Vegas, provided the appeal is made in writing as provided in the Uniform Housing Code and filed with the Director of the Department of Building and Safety within ten (10) days from the date of service of this Notice and Order; and
2. That this Notice and Order or a copy thereof be presented to the Department of Building and Safety when purchasing permit(s).
3. That failure to appeal will constitute a waiver of all rights to an administrative hearing and determination of the matter.

Dated this 2nd day of October, 1987.

BY ORDER OF:

John E. Tucker
JOHN E. TUCKER, DIRECTOR
DEPARTMENT OF BUILDING AND SAFETY