

2113 Ballard

S. Seybert 1-19-79

CITY OF LAS VEGAS, NEVADA

LOG NO. & AREA _____

CONST. VAL. \$ 236⁰⁰

DEPARTMENT OF BUILDING & SAFETY

APPLICATION & BUILDING PERMIT — for:
Fence, Wall, Retaining Wall.

ADDRESS OF CONSTRUCTION: 2113 Ballard

OWNER: DAVID NAIF

LOT(s) 4 BLOCK 1 SUBDIVISION Jubilee Tract

ZONE: RE

Materials of Construction: Block Concrete Wire Wood Other

PLANS:

ARCHITECT: _____ ENGINEER: _____

CALCS:

CONTRACTOR: FENCING INC STATE LICENSE # 4079

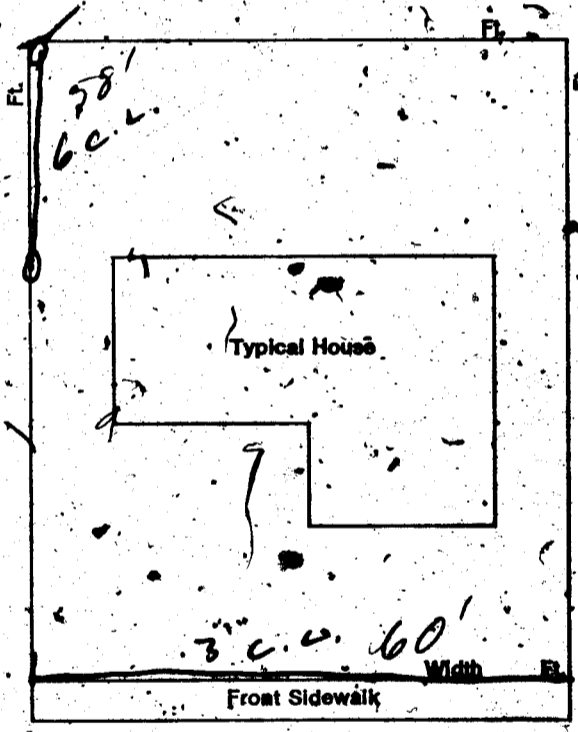
CITY LICENSE # 100-9

TOTAL SQUARE FEET: _____ TOTAL LINEAL FEET: 118

Remarks:

CONDITIONS OF THE PERMIT:

1. Any type of retaining wall must be engineered by a Civil or Structural Engineer.
2. If a home owner takes out the Building Permit and if the owner sublets the work to a Contractor, then the Contractor must take out the permit and pay for it.
3. No fence or wall can be built on City property or rights-of-way, but this is not intended to preclude construction within utility easements if utilities will not be damaged or made inaccessible.
4. The fence or wall shall not enclose any water meter, light standard, or fire alarm box and shall not come closer than 24" from the nearest fire hydrant outlet.
5. Department inspectors must approve footings before concrete is poured and block wall reinforcing before grouting is done.
6. Maximum height of any wall or fence is 6', side and rear yards; 4' maximum in front yard with the vertical surface above the height of 2' — 50% open.
7. I must not obstruct required onsite parking space (2 spaces for each dwelling unit) by the erection of this fence or wall.
8. By the signing of this application I herewith agree to the requirements outlined above.



SIGNED: [Signature] CONTRACTOR AGENT OWNER

DATE: 4-13-73

PLANNING DEPT: [Signature] Date: 4-16-73

PUBLIC WORKS DEPT: _____ Date: _____

BUILDING DEPT: [Signature] Date: 4-16-73

#12850 PERMIT NO: 10659 PERMIT FEE \$ 5⁰⁰

RECEIPT

4580 \$005.00

CITY OF LAS VEGAS
DEPT. OF
BUILDING & SAFETY
MUST BE MACHINE VALIDATED

17 APR 73

Alma Ealey 12-2-80

DEPARTMENT OF BUILDING & SAFETY
CITY OF LAS VEGAS, NEVADA

KARDEX CARD
FENCE & RETAINING
WALLS

OWNER David Naif ADDRESS 2113 Ballard DATE 4-16-73

CONTRACTOR Fencing Inc. PERMIT NO. 10659

LOT .4 BLOCK 1 SUBDIVISION wire fence

Fence (wire, wood, etc.)		Walls (masonry, rock, etc.)	
Location _____		Location _____	
Final Inspection <u>4-16-73</u>		Footings _____	
		Wall Steel 1st _____ 2d _____ 3d _____	
		Final Inspection _____	
Retaining Wall (masonry)		Retaining Wall (concrete)	
Location _____		Location _____	
Footings _____		Footings _____	
Wall Steel 1st _____ 2d _____ 3d _____		Wall Steel 1st _____ 2d _____ 3d _____	
Bond Beam 1st _____ 2d _____ 3d _____		Final Inspection _____	
Final Inspection _____			

23.14 B

ADDRESS 2113 Ballard LOG NO. _____ AREA _____

NOTICE AND ORDER TO MAKE REPAIRS

TO: ROSE BOWERS
THOMAS F. & MILDRED A. WHELAN SR.
131 S. PENNSYLVANIA, CASPER, WY. 82609

As record owner(s) of the building(s) located at 2113 BALLARD DRIVE, LAS VEGAS, NEVADA, legally described as JUBILEE TR, LOT 04, BLK 01, you are hereby given notice that the Director of the Department of Building and Safety has determined that the aforementioned building is substandard. Said building is dangerous under Section 202 of the Uniform Housing Code because of the following conditions:

Reference Publication: Uniform Housing Code (UHC), 1985 Edition
Uniform Plumbing Code (UPC), 1985 Edition
Uniform Mechanical Code (UMC), 1985 Edition
National Electrical Code (NEC), 1987 Edition

EXTERIOR:

1. *Sec. 1001 (e) U.H.C. Remove all unauthorized wiring to storage sheds, dryer and area lighting.
2. Sec. 1001 (k) UHC An accumulation of rubbish and debris is being maintained on the property. Remove and maintain the grounds in a satisfactory manner.
3. Sec. 601 (b) UHC Windows and doors shall be weather tight. Weather stripping shall be used as required to exclude wind or rain from the interior of the building.
4. Sec. 1001 (b) 12 UHC The interior and exterior of the building shall be maintained free from insect, vermin and rodent infestation. the extermination processes shall not be injurious to human health.
5. *Sec. 1001 (h) 4 UHC Chapter 32 UBC Repair or replace deteriorated roof covering.
6. Sec. 1001 (h) 3 UHC Scrape, prime and paint all exposed wood surfaces.

INTERIOR: HALLWAY: UNITS B & C:

7. *Sec. 1001 (c) 4 & 6 Replace missing gypsum board in closet area where gas water heater is located. Detection equipment used in inspection indicated a natural gas leak in the piping system. Repair leak and pressure check the system.
8. *Sec. 701 (c) UHC
*Sec. 901 UMC Replace gas water heater single wall vent with double wall vent from ceiling to the exterior. Provide required listed cap.

**NOTICE & ORDER TO MAKE REPAIRS
2113 BALLARD DRIVE**

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INTERIOR: HALLWAY: UNITS B & C:

9. *Sec. 1001 (f) UHC
Sec. 1007 (e) UPC

Install a drain line from the T & P relief valve on the water heater to meet the following requirements:

Relief valves located inside a building shall be provided with a drain, not smaller than the relief valve outlet, of galvanized steel or hard drawn copper piping and fitting and shall extend from the valve to the outside of the building with the end of the pipe not more than two (2) feet (.6m) nor less than six (6) inches (152.4mm) above the ground and pointing downward. Such drain may terminate at other approved locations. No part of such drain pipe shall be trapped and the terminal end of the drain pipe shall not be threaded.

INTERIOR: ALL UNITS:

10. Sec. 1001 (b) 13 UHC
Sec. 1210 UBC

Installation of smoke detectors is required. Detectors shall be located in accordance with approved manufacturer's instructions.

INTERIOR: HALLWAY: UNIT #B:

11. *Sec. 1001 (e) UHC

Remove unauthorized wiring adjacent to the refrigerator.

INTERIOR: UNITS B & C:

12. *Sec. 701 (a) UHC

Repair or replace all inoperative wall mounted gas furnaces. Replace faulty deteriorated vents and listed caps as required.

KITCHEN: UNITS B & C:

13. *Sec. 1001 (f) UHC

Repair or replace gas range. Gas range has loose connection and or a broken gas line. Detection equipment used in the inspection indicated a natural gas leak. Pressure test of all gas lines is required.

NOTICE & ORDER TO MAKE REPAIRS
2113 BALLARD DRIVE

KITCHEN: UNIT #A:

- 14. *Sec. 1001 (f) UHC
Sec. 1007 (e) UPC

Install a drain line from the T & P relief valve on the water heater to meet the following requirements:
Relief valves located inside a building shall be provided with a drain, not smaller than the relief valve outlet, of galvanized steel or hard drawn copper piping and fitting and shall extend from the valve to the outside of the building with the end of the pipe not more than two (2) feet (.6m) nor less than six (6) inches (152.4mm) above the ground and pointing downward. Such drain may terminate at other approved locations. No part of such drain pipe shall be trapped and the terminal end of the drain pipe shall not be threaded.

- 15. *Sec. 701 (a) UHC
Sec. 901 UMC

Replace gas water heater single wall vent with double wall vent from ceiling to the exterior. Provide required listed cap.

KITCHEN: UNIT #C:

- 16. Sec. 505 (c) UHC

Repair or replace deteriorated sink counter top.

Because of these conditions, the Director of the Department of Building and Safety hereby orders ROSE BOWERS, THOMAS F. & MILDRED A. WHELAN SR., record owner(s) of the building, to:

1. Cause the following permits to be taken out by a licensed contractor on or before **MARCH 10, 1989** : **ELECTRICAL: PLUMBING:**
(Only starred (*) items require a licensed contractor.)
2. Make the aforementioned repairs by **MARCH 31, 1989** . Contact the City of Las Vegas Central Action Office, in the Building & Safety Department at 386-6615 when work is completed.
3. If any building declared substandard under this ordinance and ordered to be repaired by the Building Official has been vacated by the owner(s) to effect such repairs, a Certificate of Occupancy shall be obtained by the owner(s) upon completion of the repairs, or prior to reoccupancy.

If these orders are not complied with, you are hereby given notice that the Director of the Building and Safety may order the building vacated and posted to prevent further occupancy until the work is completed and may proceed to cause the work to be done or safely secure the structure, and charge the costs thereof against the property or its owner.

NOTICE & ORDER TO MAKE REPAIRS
2113 BALLARD DRIVE

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As the property owner(s), you will be responsible for all costs incurred. You will be notified of a public hearing to be conducted by the City Council to review the costs, and their decision shall be final and conclusive. Upon approval of the costs by the City Council, a Lien of Assessment shall be filed with the County Recorder, certified copies of the lien given to the County Treasurer, and the amount of the Lien of Assessment shall then be collected at the same time and in the same manner as ordinary property taxes. All laws applicable to the levy, collection, and enforcement of property taxes shall be applicable to such assessment.

Moreover, you are hereby given notice:

1. That any person having record title or legal interest in the building may appeal from this Notice and Order or any action of the Director of the Department of Building and Safety to the City Council of the City of Las Vegas, provided the appeal is made in writing as provided in the Uniform Housing Code and filed with the Director of the Department of Building and Safety within ten (10) days from the date of service of this Notice and Order; and
2. That this Notice and Order or a copy thereof be presented to the Department of Building and Safety when purchasing permit(s).
3. That failure to appeal will constitute a waiver of all rights to an administrative hearing and determination of the matter.

Dated this 15th day of February, 1989.

BY ORDER OF:



SAM BOWLER, CHIEF
CENTRAL ACTION OFFICE
DEPARTMENT OF BUILDING AND SAFETY

SB:c1

2113 BALLARD DRIVE

RELEASE OF
NOTICE AND ORDER TO MAKE REPAIRS

TO: ROSE BOWERS
THOMAS F. & MILDRED A. WHELAN, SR.
131 S. PENNSYLVANIA
CASPER, WY. 82609

THE CITY OF LAS VEGAS, NEVADA, does hereby certify that the Notice and Order to Make Repairs, recorded on 5/30/89, in the Office of the County Recorder of Clark County, as Document Number 00518, in Book 890530, has been satisfied and may be cancelled and discharged of record. All repairs have been made as stated in the Notice and Order.

ASSESSOR'S PARCEL NUMBER: 050-113-014

LEGAL DESCRIPTION: JUBILEE TR
LOT 04, BLK 01

Located in the City of Las Vegas, Nevada commonly known as 2113 BALLARD DRIVE

RELEASE EFFECTIVE: February 6, 1990
(DATE)

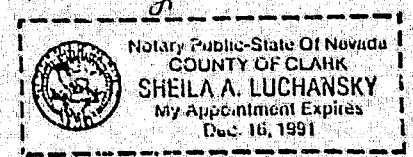
BY: [Signature]
JOHN F. TUCKER
DIRECTOR, DEPARTMENT OF BUILDING
AND SAFETY, CITY OF LAS VEGAS

STATE OF NEVADA)
CLARK COUNTY) SS

JOHN E. TUCKER, being duly sworn, deposes and says that he is the person who executed the foregoing instrument on behalf of the City of Las Vegas and he has read the same and knows the contents thereof, that the matters stated therein are true of his own knowledge, except such matters as stated to be on information and belief, and as to those matters, he believes them to be true.

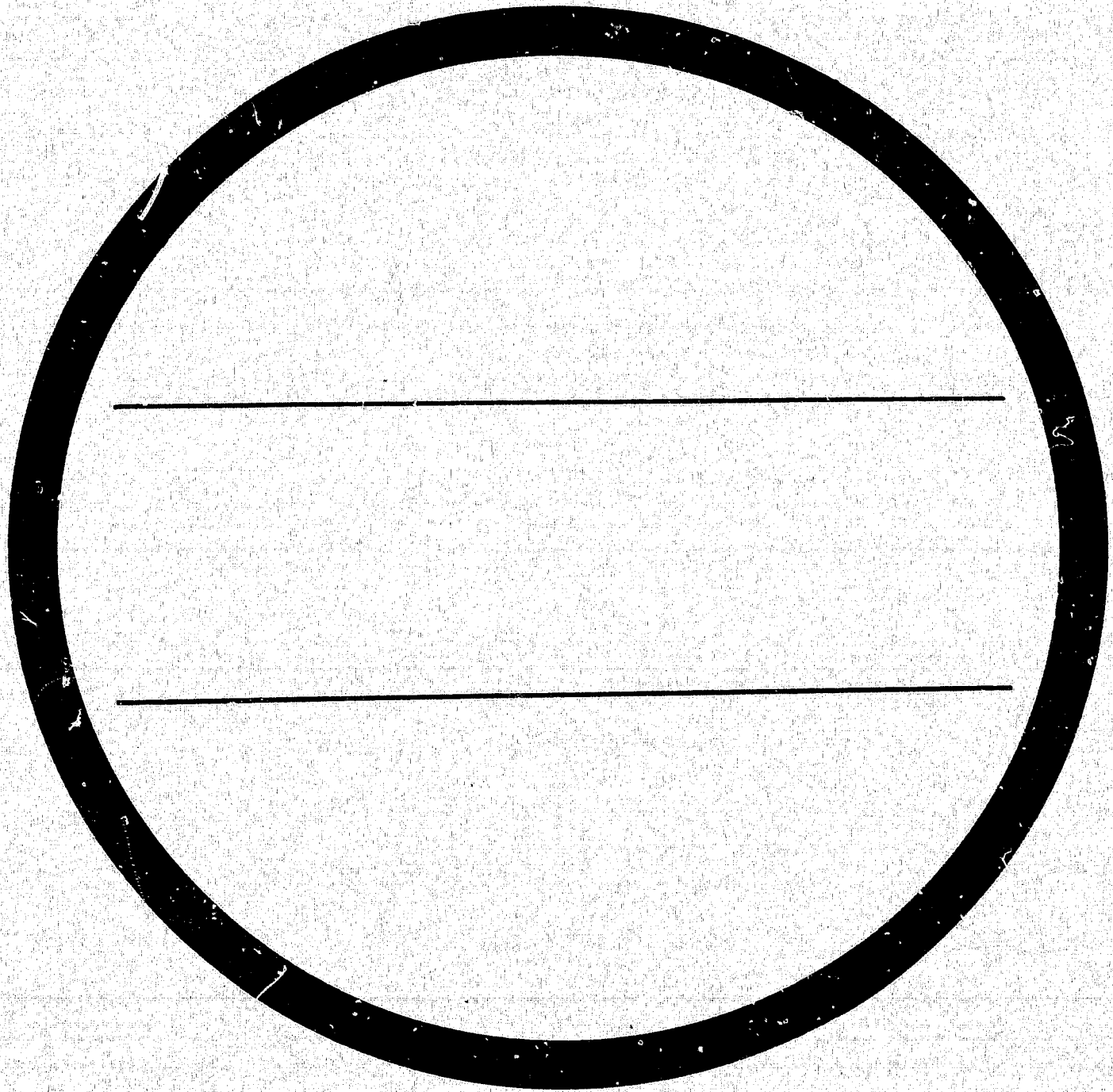
BY: [Signature]
JOHN E. TUCKER
DIRECTOR, DEPARTMENT OF BUILDING
AND SAFETY, CITY OF LAS VEGAS

SUBSCRIBED and SWORN TO
before me this 6th day of
February, 1990



[Signature]
NOTARY PUBLIC in and for said
County of Clark

0000 0000 1231



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