

CITY OF LAS VEGAS, NEVADA

PERMIT NO. 90-052637

DEPARTMENT OF BUILDING AND SAFETY
PHONE 386-6251

FOR INSPECTIONS, CALL 799-2071

BUILDING PERMIT

FOR: Single Family Dwelling, Remodel
Additions, Misc. Residential Construction

LOG NO. & AREA

M-25-90 440492068

DATE

1-8-90

CONST. VAL. \$

272810.05

ADDRESS OF CONSTRUCTION

3132 Waterside Cdr

OWNER

J. Cortez Roberts

PHONE

NO. 254 9725

LOT(S)

9

BLOCK

3

SUBDIVISION

The Lakeside

ZONE

R-PD7

PROPOSED CONSTRUCTION

Room Addition + Balcony

USE

Residence

THIS PERMIT FOR

BLDG. A/C ELEC. PLBG.

OTHER PERMITS REQD.: FENCE

OFF SITE SWIM POOL

FLOOR AREA

BSMT

1ST

2ND

88

GARAGE

Deck

PORCH

TOTAL

176 264

CONTRACTOR

owner

STATE LICENSE NO.

CITY LICENSE NO.

ARCHITECT

~~DAVID COOK~~

ENGINEER

JAS CASLOAN

MASTER PLUMBER/
CONTRACTOR

MASTER ELECTRICIAN/
CONTRACTOR

OTHER INSPECTIONS AND FEES

- Inspections outside of normal business hours = \$30.00 per hour (minimum charge three-hours).
- Re-inspection fee during normal business-hours assessed under provisions of TABLE 3-A of the Uniform Building Code = \$30.00 per hour.
- Inspections during normal business hours for which no fee is specifically indicated = \$30.00 per hour (minimum charge one half hour).
- Additional plan review required by changes, additions, or revisions to approved plans = \$30.00 per hour (minimum charge two hours).

CONDITIONS OF THE PERMIT:

- I agree to call the City Building Department for inspections before concrete is poured, before rough wiring, electrical, plumbing, framing is covered. Also for air conditioning, drywall and sheathing inspection.
- I agree that when the job is completed that I will call for final inspection before occupancy.
- I agree to perform all construction in accordance with City Ordinances and Building Codes.
- The Contractor's signature below denotes authority from the owner to sign in his behalf and that the owner is aware of all requirements of this application and permit. Separate permits must be taken out for work outlined above this agreement.
- I have read and understand the contents of this application and permit; I hereby state that the information I have supplied on this application is true and correct.
- Approval for the work under this permit will be given only after refuse and debris have been removed from job site and public right of way.
- 24 HOUR MINIMUM NOTICE REQUIRED FOR INSPECTIONS.

BY:

I HEREBY DECLARE THAT I AM THE LEGAL OWNER OF THE ABOVE PROPERTY

OWNER

BY:

AGENT

I hereby certify that I have reviewed this application and the proposed plans and have found that the proposed development meets the requirements of the City of Las Vegas Flood Hazard Reduction Ordinance for the issuance of this Development Permit.

LAND DEVELOPMENT AND FLOOD CONTROL ENGINEER

DATE

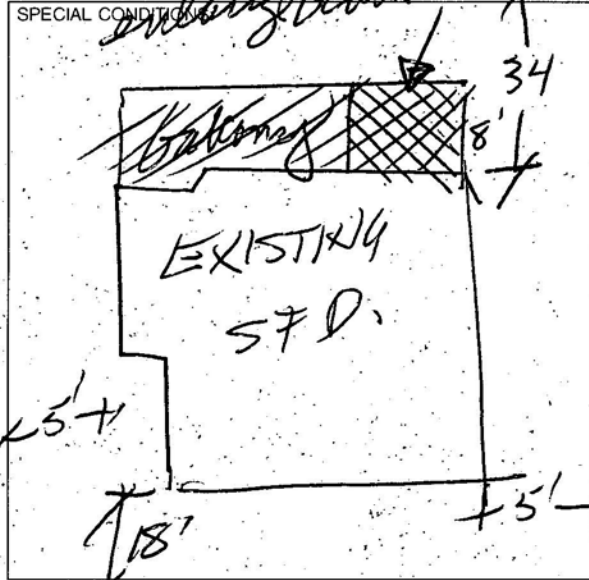
PLANNING DEPT.

DATE

BUILDING DEPT.

DATE

PLUMBING	FEE	ELECTRICAL	FEE
WATER DISTRIBUTION	6.00	RECEPTACLE <u>1</u> SWITCH <u>1</u>	.40
SEWER SYSTEM - NEW OR MODIFICATION	10.00	EACH LIGHT FIXTURE OR SOCKET <u>1</u>	.30
FIXTURES - WATER SOFTENER, H.W. HEATER	2.00	SPECIAL OUTLET, APPLIANCE ETC.	.70
GARBAGE DISPOSAL - WASHER	2.00	SERVICE/PANEL - SUB/3.00 - 200A/6.00 - 400A/12.50	
FUEL PIPING	6.00	A.C. UNIT OR MOTORS	3.00
IRRIGATION SYSTEM	8.00	2310 - 2432	TOTAL 1.10
MISC.		MISC.	
2310 - 2433	TOTAL	2310 - 2431 ISSUANCE FEE	
AIR CONDITIONING	FEE	7.143 - 2973 SEWER CONNECTION	
NEW UNIT - 3 TON = 9.00 OVER = 16.50		2310 - 2431 PLAN REVIEW FEE	30.00
FURNACE TO 100,000/9.00 OVER/11.00		2310 - 2431 BLDG. PERMIT FEE	46.00
VAPORATIVE COOLER	6.50	TOTAL FEES	77.10
VENTILATION FAN	2.35		
2310 - 2435	TOTAL		



RECEIPT 2**

ELEC	1.10
PLCK	30.00
SFD	46.00
CHEK	77.10
7520A000	09:03

expired 6/5/90

Permit Expires 180 Days After Abandonment of Work

PERMIT NO. _____ MUST BE MACHINE VALIDATED

ARC APPROVAL & NOTICE

J. Roberts

The Architectural Review Committee has reviewed 3132 Waterside Circle plans and specifications for the new home on Lot 9, Blk. 3, Lakeview and finds that the plans are in substantial compliance and conformity with the Architectural Guidelines, noting the following exceptions and requirements:

APPROVE upstairs bedroom extension and additional patio balcony deck.

Subject to receipt of copy of City of Las Vegas Building Permit.

Addition must match existing roof tile, stucco and trim color.

For protection of individual homeowners, the boats, and the lake, owners must have boats approved for lake use, and no boat will be approved unless an approved dock has been built. No boats are allowed to dock at the seawall, regardless of draft depth, and may only dock at approved docks. Docks must cantilever out over the water a minimum of 5' or a maximum of 6', and a minimum dock width parallel to bulkhead will be 10'.

With the exception of ARC Approved Boat Dock design, no structure or object can be built within the 10' easement adjacent to the bulkhead that may penetrate more than 2' below finish grade as established at 2096' above sea level at the top of the bulkhead wall. No attachments may be made on or to the bulkhead wall excepting those attachments as required by approved ARC dock designs.

No trees may be planted within the 10' easement from the edge of the bulkhead, to control view obstruction and roots that may damage the Lake. Grass or low growing plants, may be planted if they do not exceed 4' in height at maturity.

No fences allowed within 15' of seawall unless they are decorative wrought iron, not to exceed 6' in height and with uprights spaced no less than 4", or more than 6" apart.

When plans are submitted for approval to the ARC, a 10 cash deposit or bond is required for protection of the Lake while your property is under construction. If you have not submitted the deposit, please do so immediately, payable to West Sahara Investments, Inc. Upon completion of the work, and if no portion of the deposit has been used to repair any damage to the Lake or bulkhead, the full amount of the deposit, plus 5% will be refunded, upon notification of completion of the work and final inspection by the ARC.

You are further advised that any deviation from the approved ARC plans and specifications as it affects the size of any construction, location, or the exterior, including landscaping, must also be approved by the ARC, as well as obtaining the required City of Las Vegas Planning and Building Departments approvals and permits prior to commencement of construction. Any deviations, or changes, without prior approval may require removal of same at your own expense. ARC approval does not substitute or circumvent the required City of Las Vegas rules, regulations, and permits, as the ARC approval only applies to The Lakes Association.

Your attention is drawn specifically to Article VI, Section 2, Sub-paragraph (b), (f), and (g) of the CC&R's, which is set out on pages 21, 22 and 23 thereof.

ARCHITECTURAL REVIEW COMMITTEE


Russell Dorn, Chairman

11/8/89

Date

CITY OF LAS VEGAS, NEVADA

89-036923

DEPARTMENT OF BUILDING AND SAFETY
PHONE 386-6251

FOR INSPECTIONS, CALL 799-2071

DEVELOPMENT PERMIT
*FOR: Swimming Pool or Spa

440-49E-068

LOG NO. & AREA M 1643-89 DATE _____

CONST. VAL. \$ 5500

ADDRESS OF CONSTRUCTION 3132 WATERSIDE CIL OWNER J. CURTIS ROBERTS, TRUSTEE PHONE _____

CONTRACTOR OWNER STATE LICENSE NO. _____ CITY LICENSE NO. _____

LOT(S) 9 BLOCK 3 SUBDIVISION THE LAKES AT WEST SAHARA PHASE I ZONE: R-PD7

PLUMBING CONTRACTOR _____ ELECTRICAL CONTRACTOR _____

CIRCLE TYPE OF POOL THAT APPLIES: PRIVATE SEMI-PUBLIC PUBLIC SPA

MATERIALS OF CONSTRUCTION: REINFORCED GUNITE REINFORCED CONCRETE OTHER _____

SQUARE FEET OF SURFACE POOL 450 SPA 1 VOLUME IN GALLONS 13,500

Approval for the work under this permit will be given only after refuse and debris have been removed from job site and public right of way.

I state that I am familiar with the effective ordinances of the City of Las Vegas, Nevada and the effective Statutes of the State of Nevada covering construction and use of the above type; I agree to perform said construction in conformity therewith. I further agree that issuance of a permit on the above application will not excuse me from conforming with the said Ordinances and Statutes despite any errors on the part of the building inspector or engineer in checking plans and application herewith.

All swimming pools must be fenced before the pool is filled with water. No electrical lines shall cross over a pool. Applicants must have separate plot plans showing location of power pole, proposed or existing fencing and location of swimming pool. I agree to repair any utility line, if damaged during excavation work. I have read and understand the contents of above application. I hereby state that the same are true and correct.

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2. Re-Inspection fee during normal business hours assessed under provisions of TABLE 3-A of the Uniform Building Code = \$30.00 each.
3. Inspections during normal business hours for which no fee is specifically indicated = \$30.00 per hour (minimum charge one half hour).
4. Additional plan review required by changes, additions or revisions to approved plans = \$30.00 per hour (minimum charge two hours).

SIGNED [Signature] CONTRACTOR
 NOTARY PUBLIC
 STATE OF NEVADA
 County of Clark
 BRITT RYAN
 My Appointment Expires November 9, 1991
 AGENT/OWNER
 DATE 8/24/89

BUILDING DEPT.		DESCRIPTION	FEE	TOTAL
ISSUANCE FEE			10.00	10
SEWER CONNECTION FEE (to 30,000 GALLONS)			50.00	60
BUILDING PERMIT - POOL & OR SPA:				67.80
PLUMBING PERMIT	PRIVATE POOL OR SPA	PREFORMED SPA	10.00	20
		OTHERWISE	20.00	
	PUBLIC OR SEMI-PUBLIC POOL OR SPA	PREFORMED SPA	20.00	08/24/89
		OTHERWISE	30.00	
FUEL PIPING FOR POOL HEATER.			6.00	6
ELECTRICAL PERMIT	SPA		8.00	20
	SWIMMING POOL	RESIDENTIAL	20.00	
		PUBLIC-SEMI-PUBLIC	30.00	
ELECTRICAL SERVICE CHANGE			6.00	
MISC.				
TOTAL FEES				191.80

RECEIPT	
##0002**	
POOL	77.80
SEWR	60.00
PL&G	26.00
ELEC	28.00
CASH	191.80
0973A000	11:49

expired

MUST BE MACHINE VALIDATED

Permit Expires 180 Days After Abandonment of Work